

222-224 Bay Street

Port Melbourne

Mixed Use Development

June 2022

Drawing No.	Drawing Name	Scale	Rev
AA 000	Drawing Register	N/S	TP09
AX 001	Existing Conditions -Site Analysis Plan	1:500@A3	TP09
AX 002	Existing Conditions -Site Photographs	N/S	TP09
AX 003	Existing Conditions -Photographs -Fire Damage	N/S	TP09
AX100	Existing Conditions - Ground Floor Plan	1:100@A3	TP09
AX101	Existing Conditions - First Floor Plan	1:100@A3	TP09
AX102	Existing Conditions -Roof Plan	1:100@A3	TP09
AX 200	Existing Conditions - Elevations -Sheet 1	1:200@A3	TP09
AX 201	Existing Conditions - Elevations -Sheet 2	1:200@A3	TP09
AX 900	Existing Conditions - Shadow Diagram at 9am	1:200@A3	TP09
AX 901	Existing Conditions - Shadow Diagram at 12pm	1:200@A3	TP09
AX 902	Existing Conditions - Shadow Diagram at 3pm	1:200@A3	TP09
AD 100	Demolition Plan -Ground Floor	1:100@A3	TP09
AD 101	Demolition Plan -First Floor	1:100@A3	TP09
AD 102	Demolition Plan -Roof Plan	1:100@A3	TP09

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 1 of 35

Drawing No.	Drawing Name	Scale	Rev
TP 001	Proposed Site Analysis Plan	1:500@A3	TP09
TP 100	Proposed Ground Floor Plan	1:100@A3	TP08
TP 101	Proposed First Floor Plan	1:100@A3	TP09
TP 102	Proposed Second Floor Plan	1:100@A3	TP09
TP 103	Proposed Roof Plan	1:100@A3	TP09
TP 200	Proposed Elevations -Sheet 1	1:200@A3	TP09
TP 201	Proposed Elevations -Sheet 2	1:200@A3	TP09
TP 250	Proposed Section 1	1:100@A3	TP09
TP 251	Proposed Section 2	1:100@A3	TP09
TP 700	Proposed L2 Wall Type Plan	1:100@A3	TP09
TP 701	Proposed L2 Reflected Ceiling Plan	1:100@A3	TP09
TP 702	Proposed L2 Wall Type Details	1:10@A3	TP09
TP 800	Liquor Licence -Proposed Ground Floor Plan	1:100@A3	TP09
TP 801	Liquor Licence -First Floor Plan	1:100@A3	TP09
TP 802	Liquor Licence -Second Floor Plan	1:100@A3	TP09
TP 900	Proposed Shadow Diagram at 9am	1:200@A3	TP09
TP 901	Proposed Shadow Diagram at 12pm	1:200@A3	TP09
TP 902	Proposed Shadow Diagram at 3pm	1:200@A3	TP09

A10-20 E External Finishes Schedule N/S TP09

TOWN PLANNING

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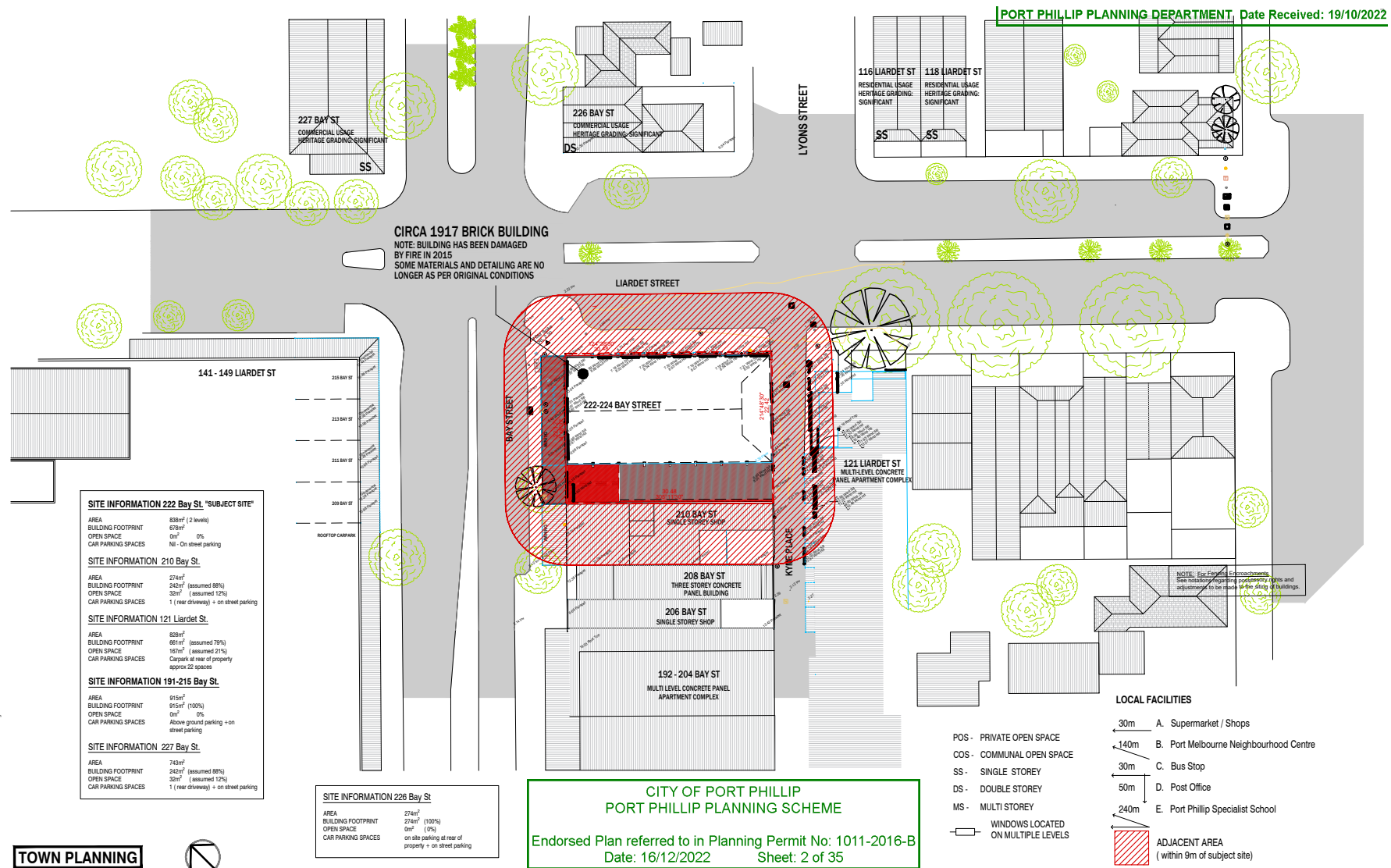
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TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name
Drawing Register
Project Leader
SW
Drawn By
FP
Scale
NTS

Project Name
Proposed Redevelopment
222-224 Bay St Port Melbourne
Project Number
19004
Drawing Number
AA 000
Revision
TP09

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
WEBB+		
BLUTE 100	25-29 GIPPS STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 081 100 8112	ABN 1708 2120 8112



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TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	14.01.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

[illegible]

Drawing Name		
Existing Conditions Site Analysis Plan		
Project Leader	Drawn By	Scale @A3
SW	FP	1:500

Project Name		
Proposed Redevelopment 222-224 Bay St Port Melbourne		
Project Number	Drawing Number	Revision
19004	AX 001	TP09

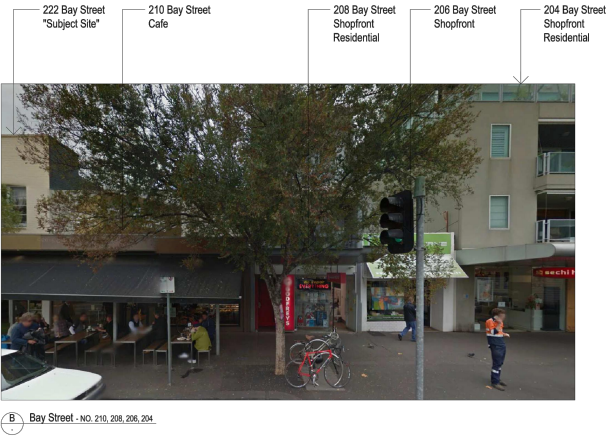
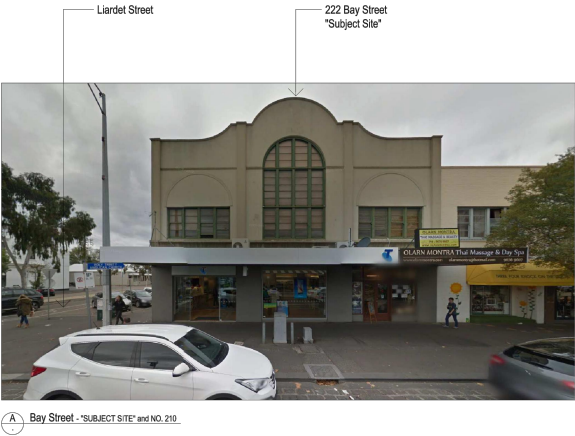
WEBB+

ARCHITECTURE | INTERIOR DESIGN | STRATEGIC DESIGN

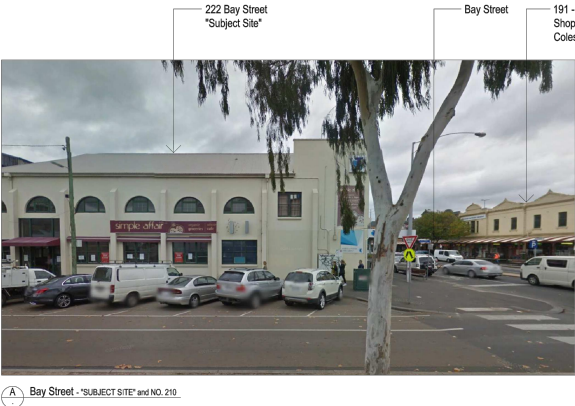
T +613 9488 2370 | WWW.WEBBPLUS.COM

SUITE 102 | 23-25 GIPPS STREET | COLLINGWOOD VIC 3066

AUSTRALIA | ACN 082 120 812 | ABN 1708 2128 212



CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME
Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 3 of 35



TOWN PLANNING

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TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name		
Existing Conditions Site Photographs		
Project Leader	Drawn By	Scale
SW	FP	NTS

Project Name		
Proposed Redevelopment 222-224 Bay St Port Melbourne		
Project Number	Drawing Number	Revision
19004	AX 002	TP09

ARCHITECTURE INTERIOR DESIGN STRATEGIC DESIGN		
WEBB+		
SUITE 102	23-25 DUFF STREET	COLLINGSWOOD VIC 3066
AUSTRALIA	ACN 082 120 812	ABN 1708 2120 812



A Interior - Looking towards Bay Street.



B Interior - Looking towards Kyme Place



C View from Liardet Street and Kyme Place



D Interior First Floor - Looking towards Liardet St.



E Interior - Looking towards Liardet St and Kyme Place

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 4 of 35

TOWN PLANNING

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TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name

Existing Conditions
Photographs Fire Damage

Project Leader	Drawn By	Scale @A3
SW	FP	NTS

Project Name

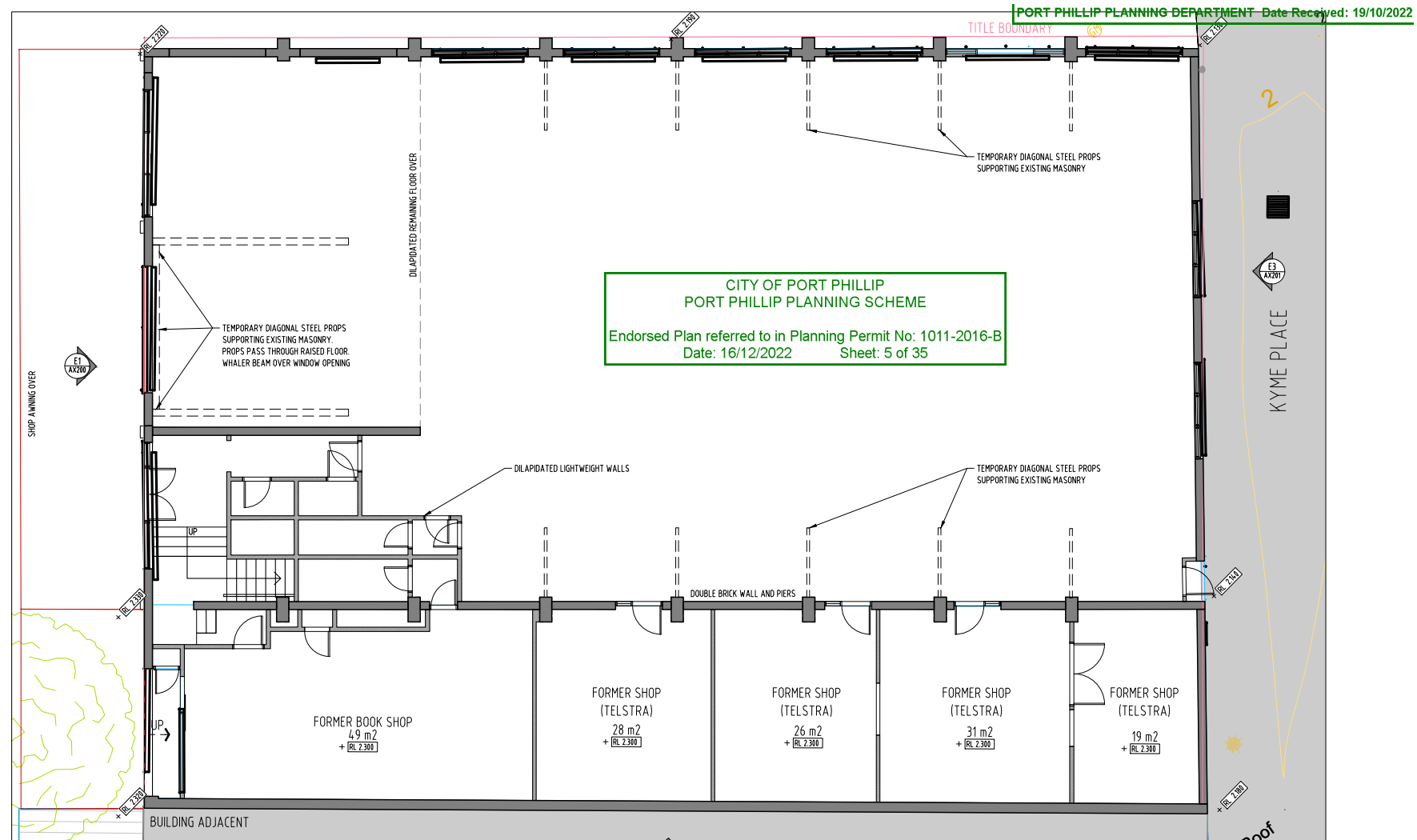
Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	AX 003	TP09

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T +613 9468 2570 WWW.WEBBPLUS.COM.AU		
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 082 120 812	ASN 1708 2120 812

Attachment 3: Endorsed Plans



TOWN PLANNING



01 EXISTING GROUND FLOOR PLAN

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TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev Date Initial Check Description

Rev	Date	Initial	Check	Description

Drawing Name

Existing Conditions
Ground Floor Plan

Project Leader	Drawn By	Scale	@A3
SW	FP	1:100	

Project Name

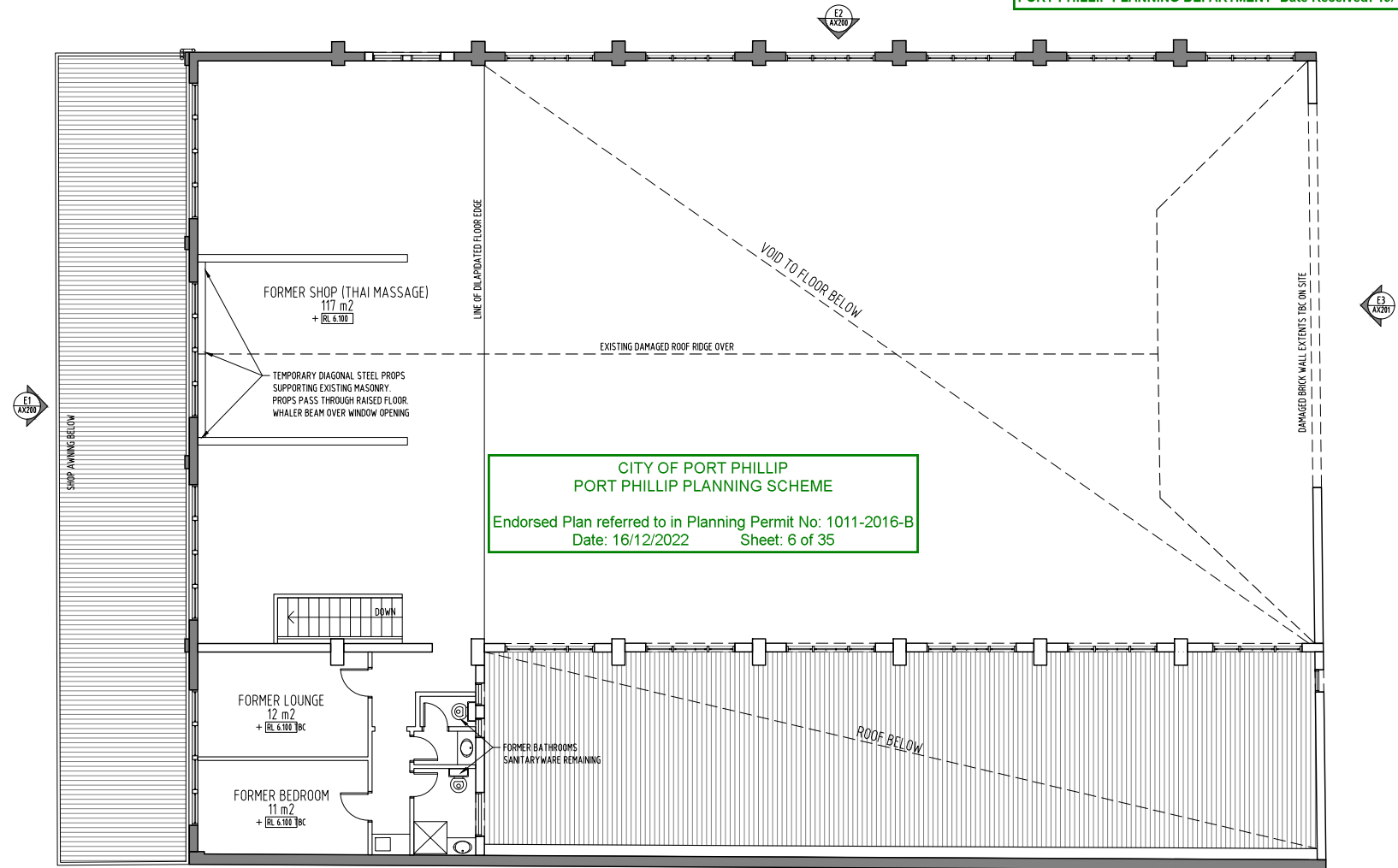
Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	AX 100	TP09

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ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
11-1111 BAY ST SUITE 102 AUSTRIA	11-1111 BAY ST SUITE 102 AUSTRIA	11-1111 BAY ST SUITE 102 AUSTRIA

Document Set ID: 6825958



TOWN PLANNING

01 EXISTING FIRST FLOOR PLAN
SCALE 1:100

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TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description
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Drawing Name
Existing Conditions
First Floor Plan

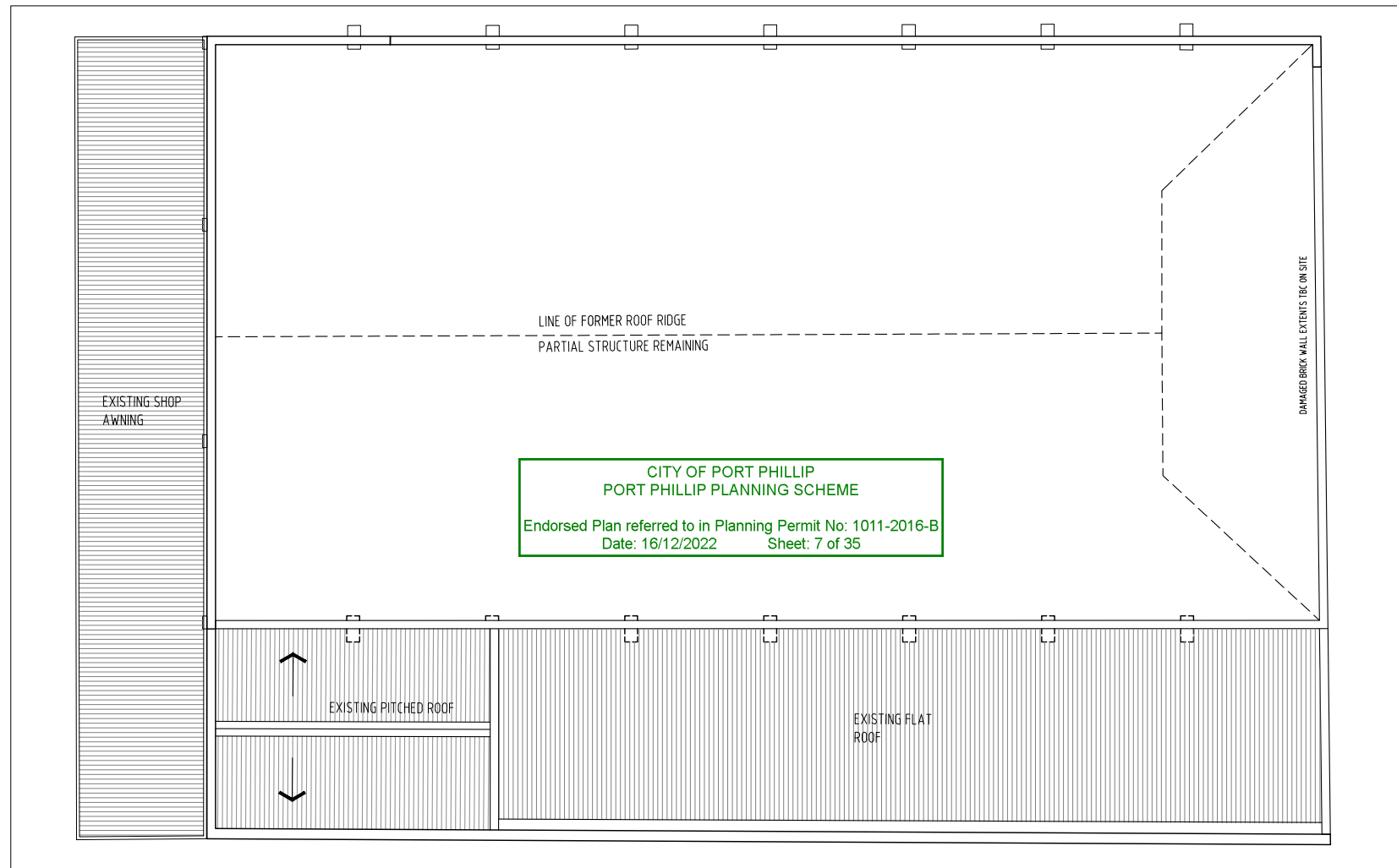
Project Leader	Drawn By	Scale	@A3
SW	FP	1:100	

Project Name
Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	AX 101	TP09

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
BUTE 102	23-25 OPP'S STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 085 100 812	ABN 1708 2120 812

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**TOWN PLANNING**

01 EXISTING ROOF PLAN
- SCALE 1/8" = 1'-0"

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TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	14.01.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name

Existing Conditions Roof Plan

Project Leader	Drawn By	Scale @A3
SW	FP	1:100

Project Name

Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	AX 102	TP09

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Document Set ID: 6825938



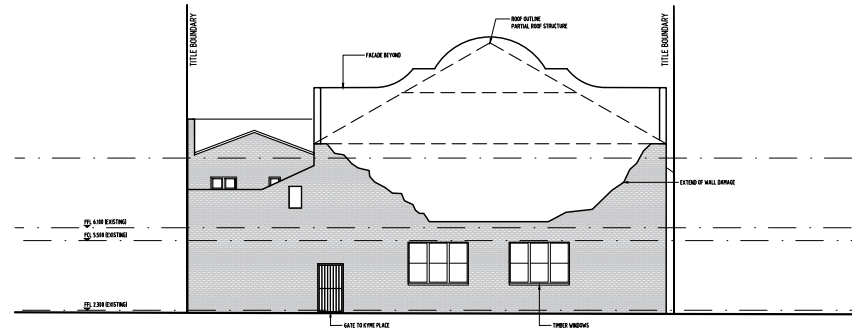
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SCALE 1/8"=1'-0"

Rev	Date	Initial	Check	Description

Project Number	Drawing Number	Revision
19004	AX 200	TP09

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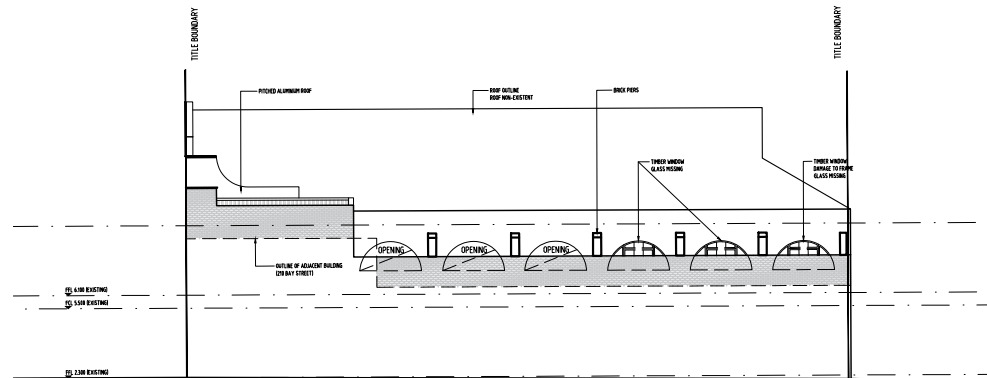
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CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 9 of 35

E3 EXISTING STREET ELEVATION
SCALE 1:200



E4 EXISTING STREET ELEVATION

TOWN PLANNING

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TP04	16.08.2019	FP	AM	ISSUE FOR ENDORSEMENT
TP05	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

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Drawing Name

Existing Conditions Elevations Sheet 2

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SW	FP	1:200

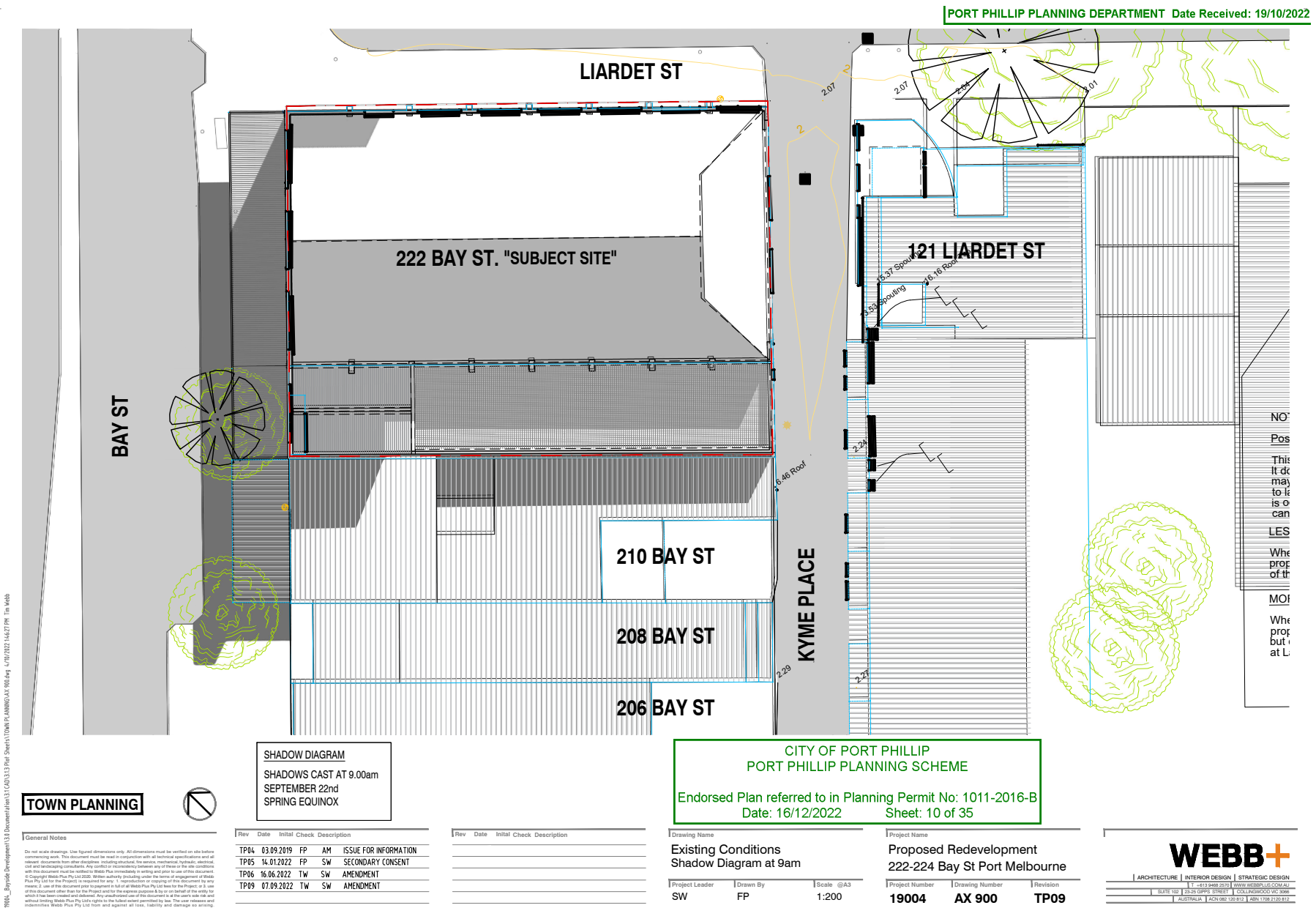
Project Name

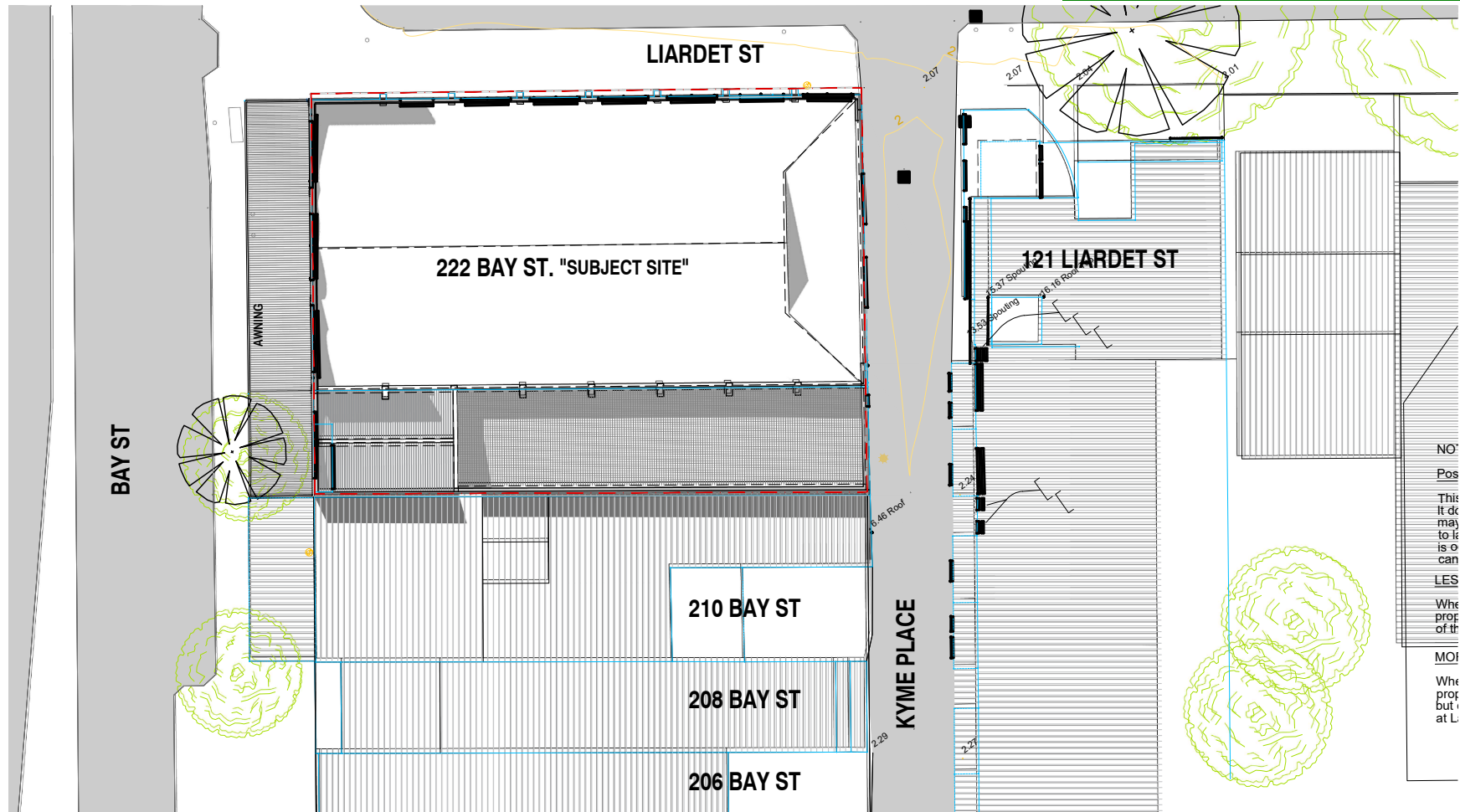
Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	AX 201	TP09

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T +613 9468 2570		WWW.WEBBPLUS.COM.AU
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SHADOW DIAGRAM
SHADOWS CAST AT 12.00pm
SEPTEMBER 22nd
SPRING EQUINOX

Rev	Date	Initial	Check	Description
TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	14.01.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

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CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
 Date: 16/12/2022 Sheet: 11 of 35

Drawing Name

Existing Conditions
Shadow Diagram at 12pm

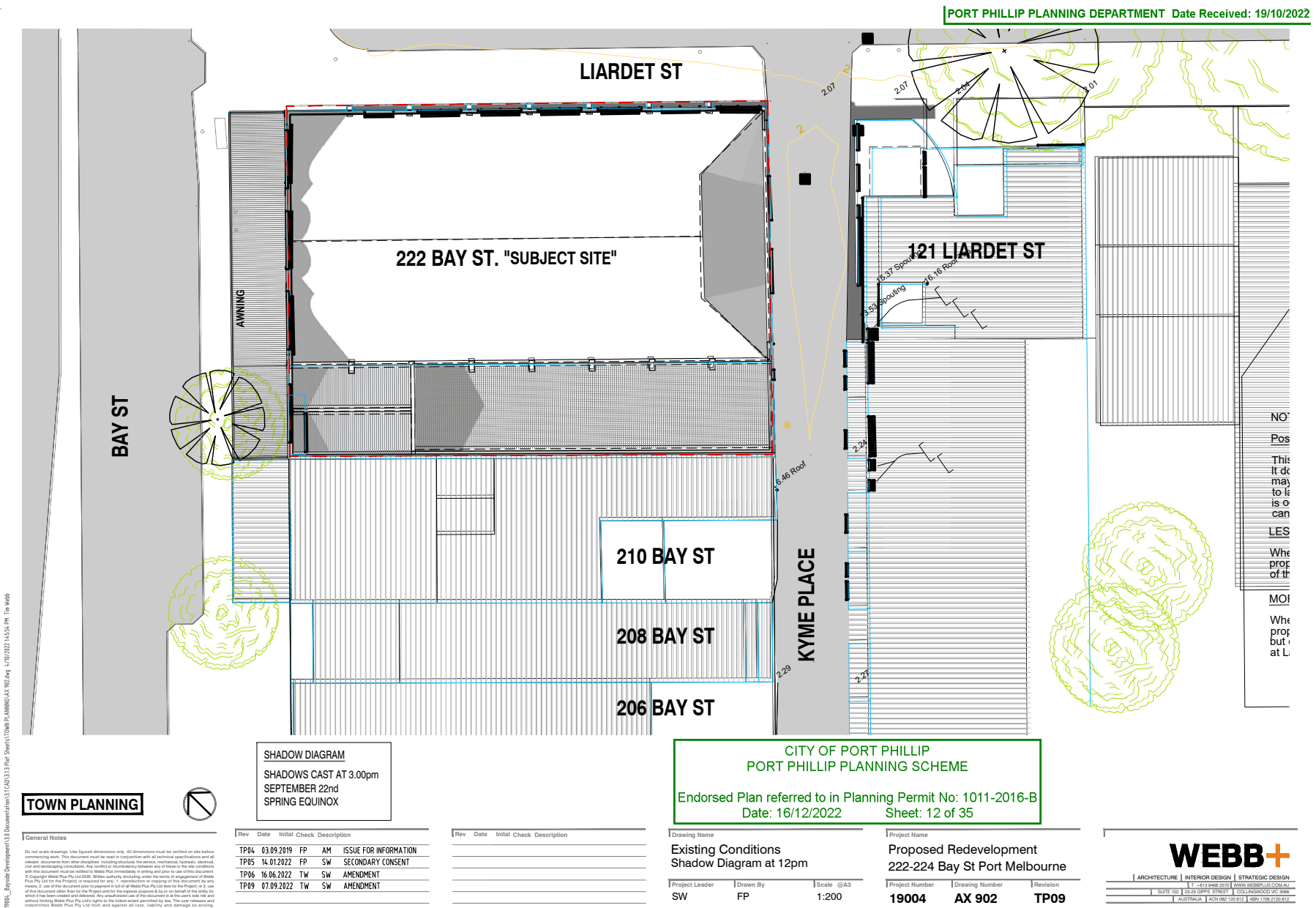
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SW	FP	1:200

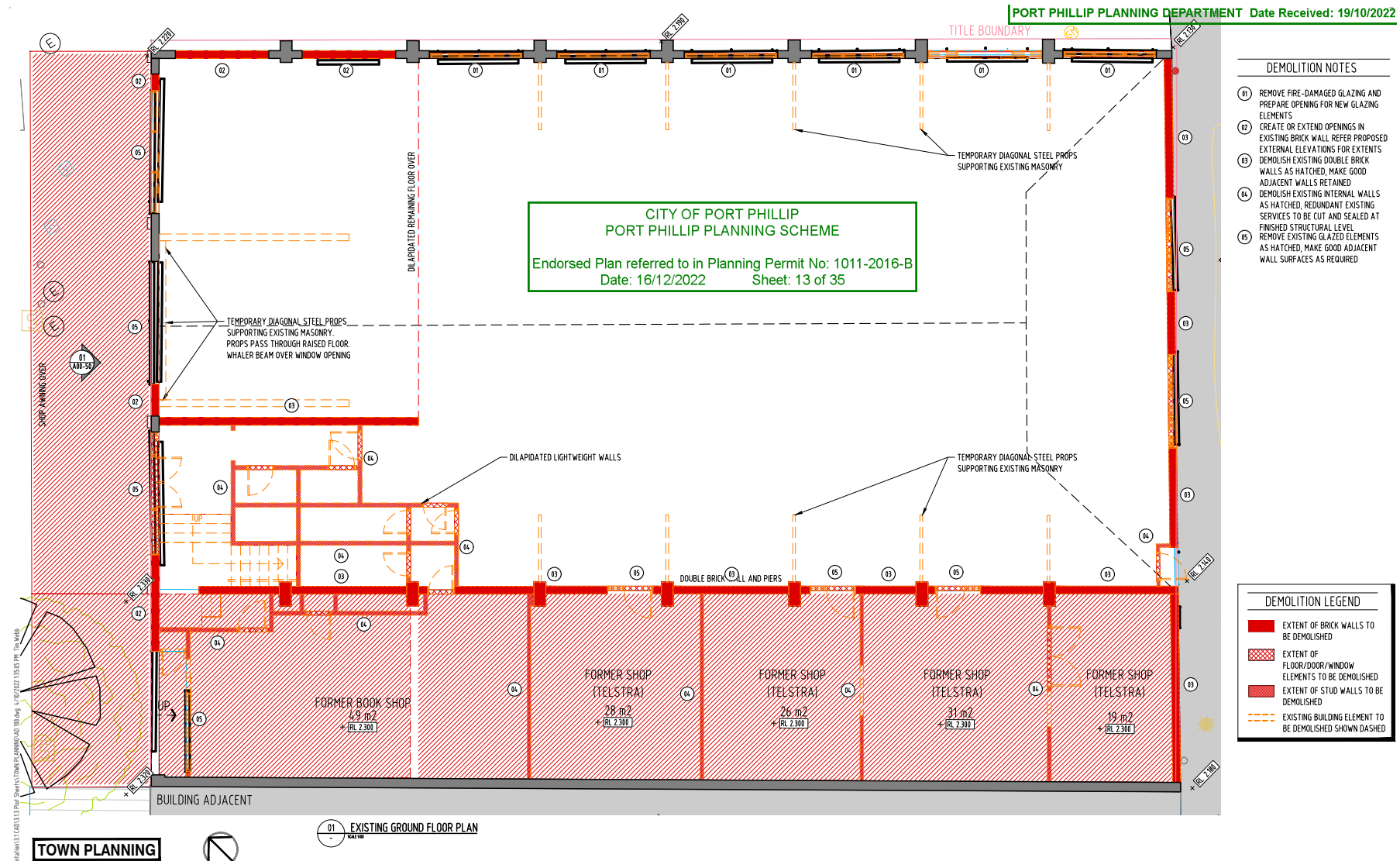
Project Name
Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	AX 901	TP09

WEBB+

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
T +613 9468 2570		WWW.WEBBPLUS.COM.AU
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 082 120 812	ABN 1708 2120 812





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TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name

Demolition Plan
Ground Floor

Project Leader	Drawn By	Scale @A3
SW	FP	1:100

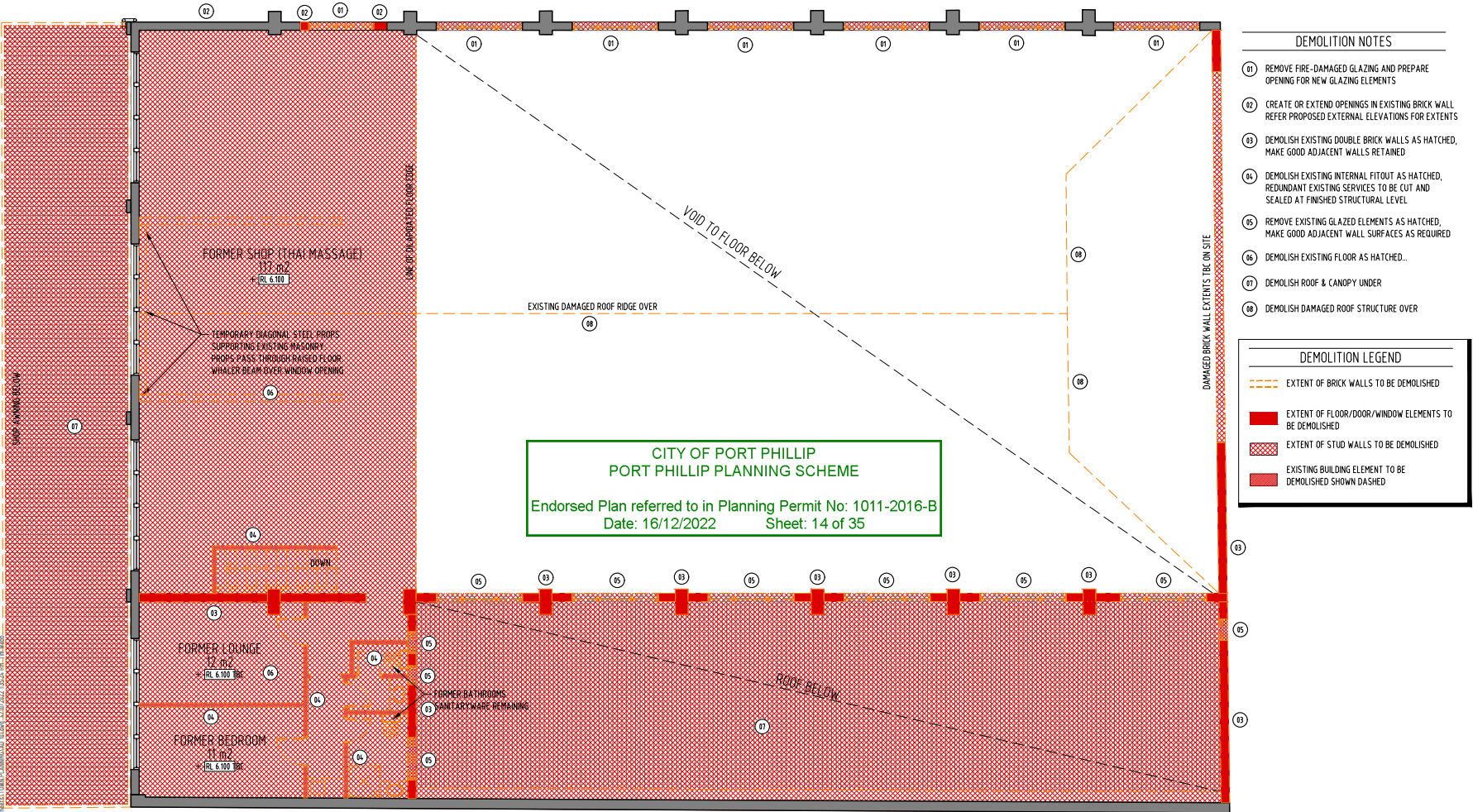
Project Name

Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	AD 100	TP09

WEBB+

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
T +613 9468 2570		WWW.WEBBPLUS.COM.AU
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 082 120 812	ABN 1708 2120 812



CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME
Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 14 of 35

01 FIRST FLOOR DEMOLITION PLAN

TOWN PLANNING

General Notes

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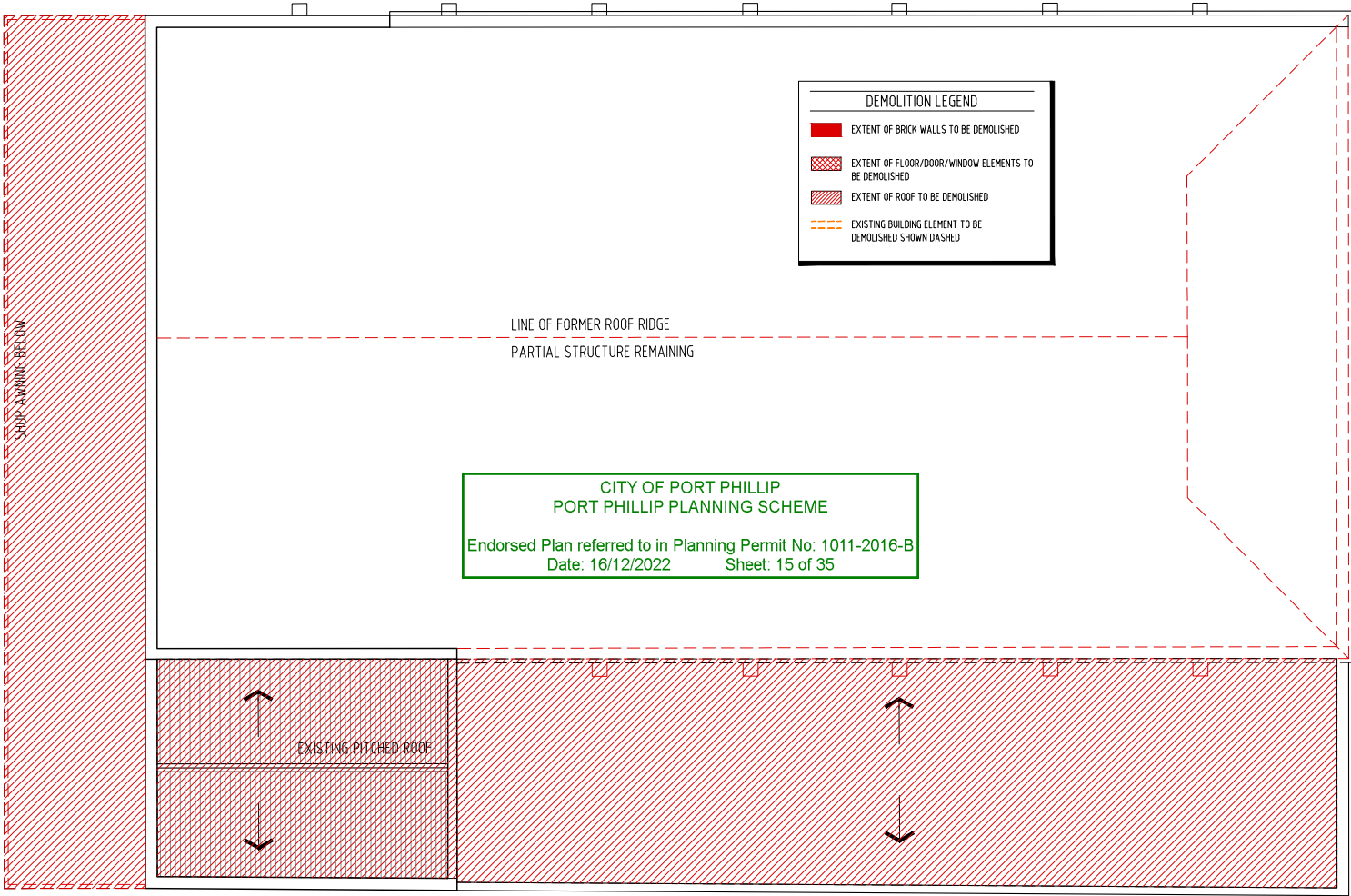
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TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	14.01.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name		
Demolition Plan First Floor		
Drawing Leader	Drawn By	Scale @A3
SW	FP	1:100

Project Name		
Proposed Redevelopment 222-224 Bay St Port Melbourne		
Project Number	Drawing Number	Revision
19004	AD 101	TP09

ARCHITECTURE INTERIOR DESIGN STRATEGIC DESIGN		
WEBB+		
SUITE 102 23-25 GIPPS STREET COLLINGWOOD VIC 3066		
AUSTRALIA ACN 082 120 812 ABN 1708 2320 812		



TOWN PLANNING



01 ROOF DEMOLITION PLAN

General Notes
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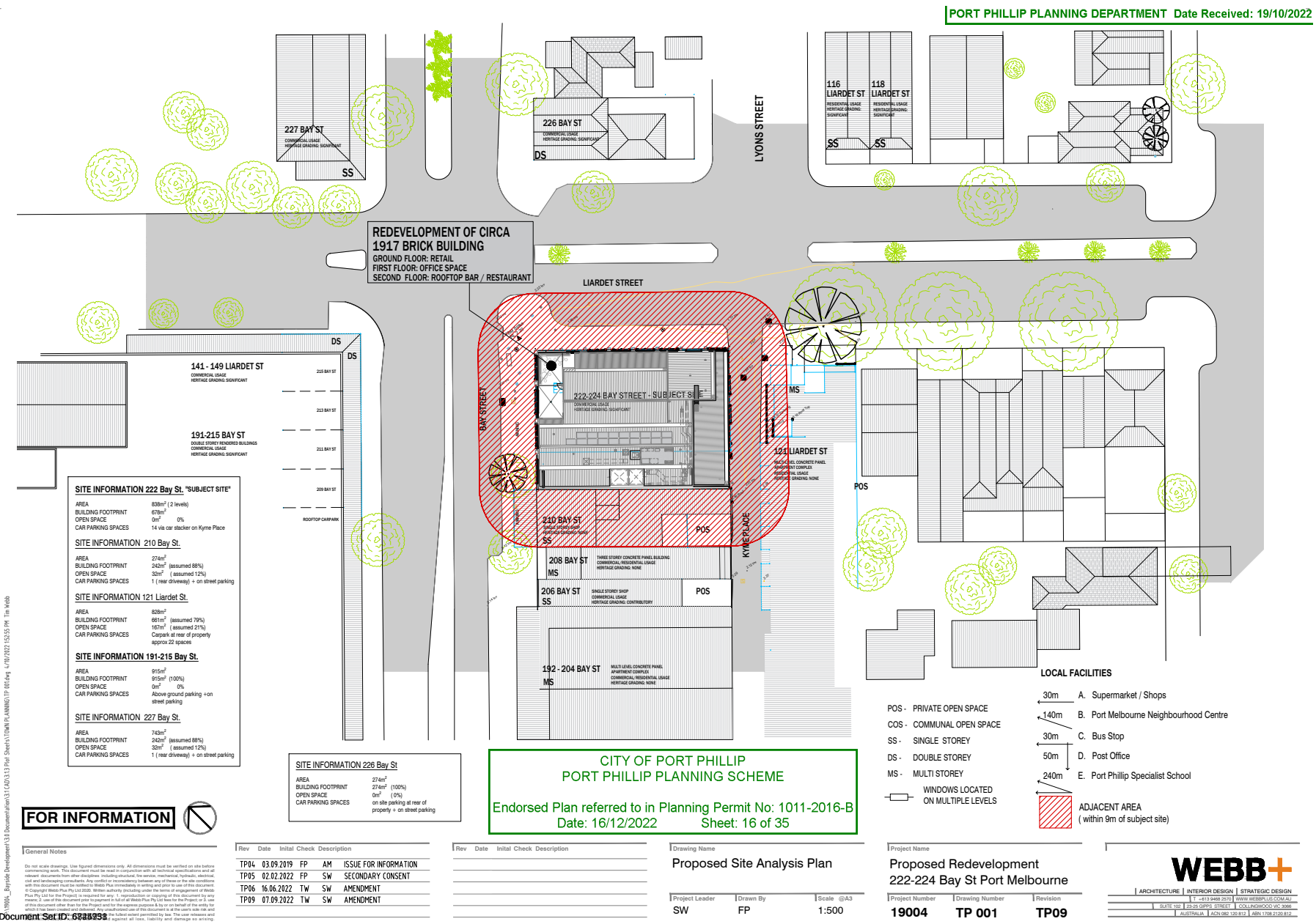
Rev	Date	Initial	Check	Description
TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	14.01.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

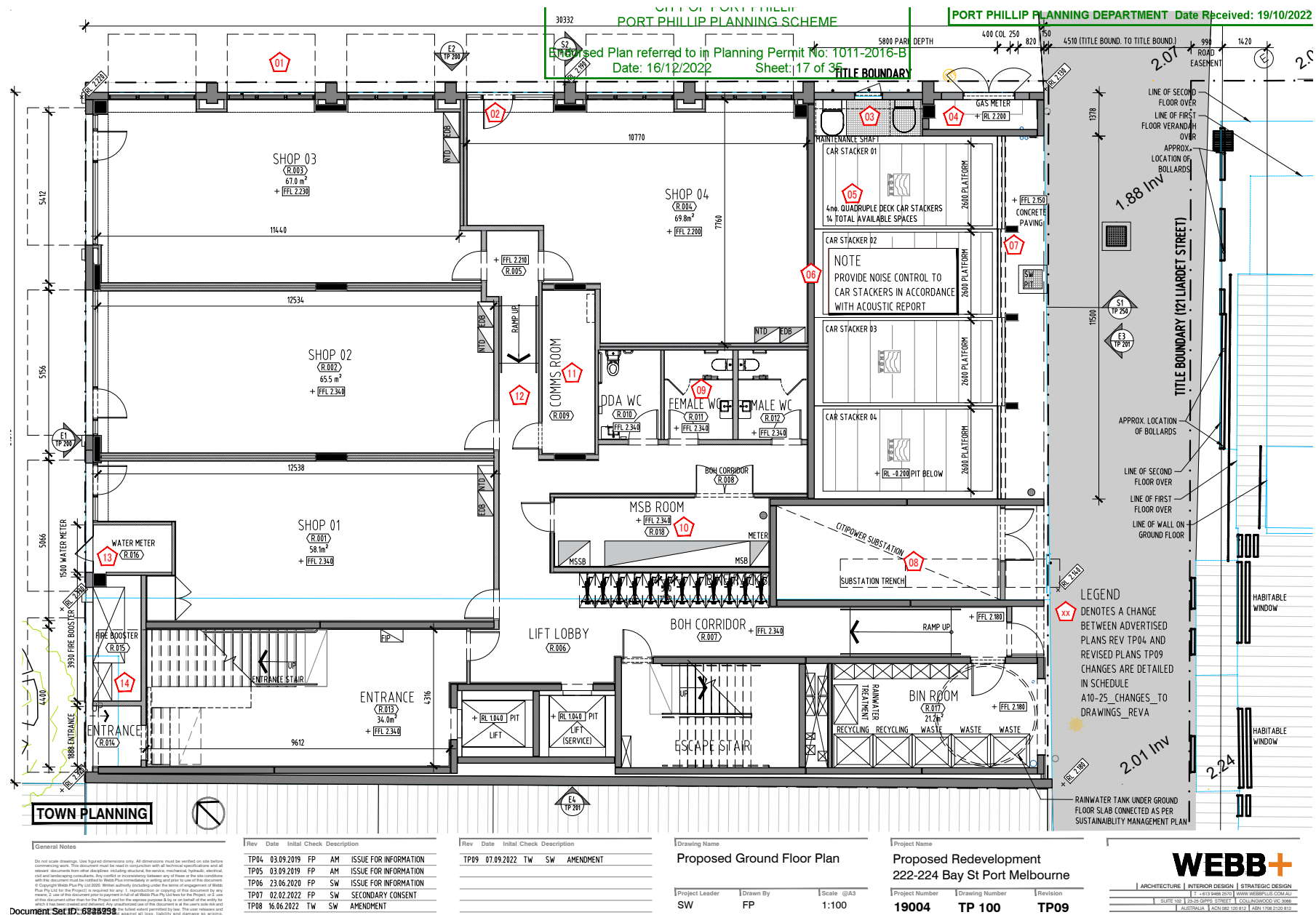
Rev	Date	Initial	Check	Description

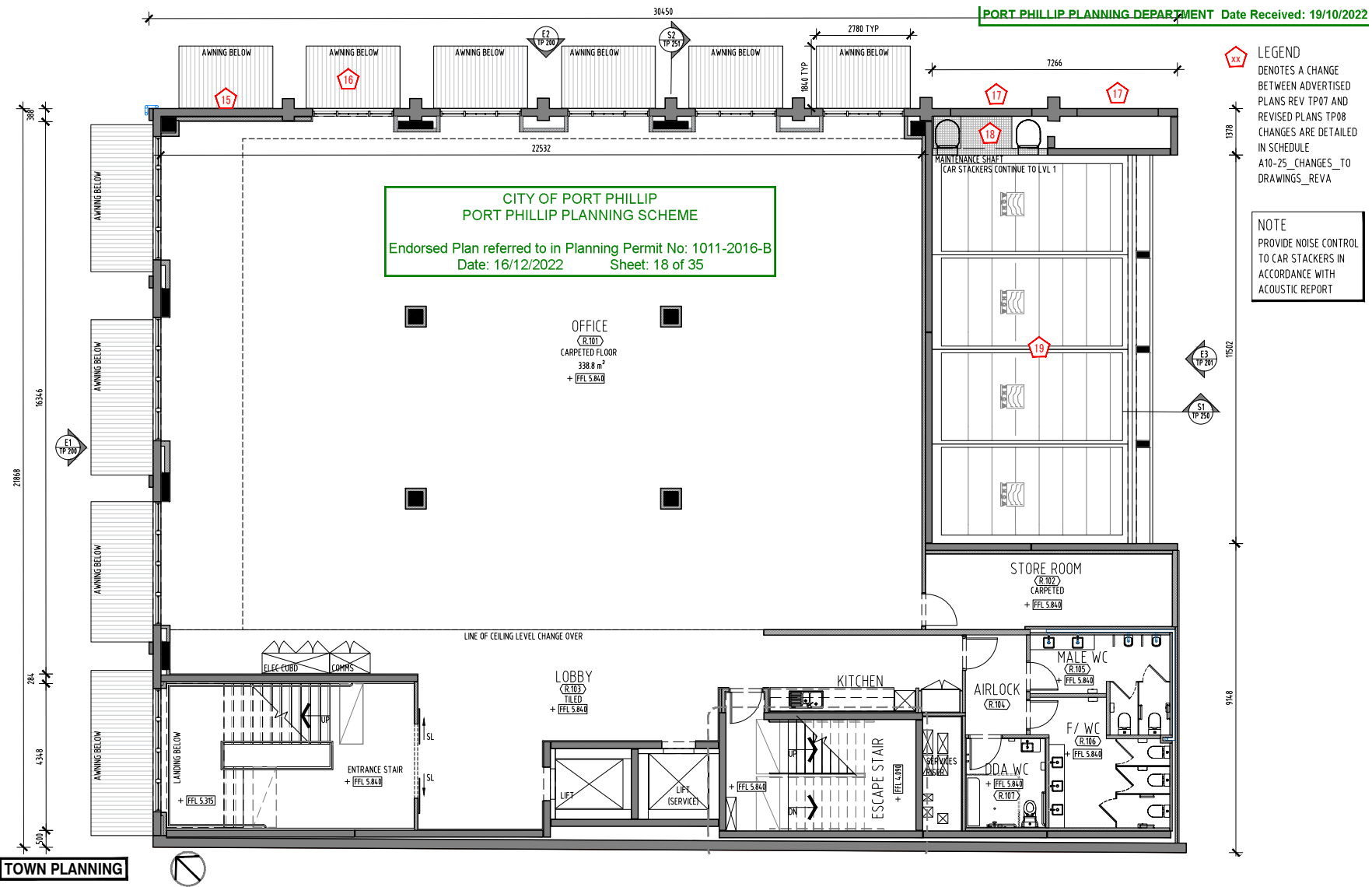
Drawing Name		
Demolition Plan Roof Plan		
Project Leader	Drawn By	Scale @A3
SW	FP	1:100

Project Name		
Proposed Redevelopment 222-224 Bay St Port Melbourne		
Project Number	Drawing Number	Revision
19004	AD 102	TP09

ARCHITECTURE INTERIOR DESIGN STRATEGIC DESIGN		
WEBB+		
SUITE 102 23-25 GIPPS STREET COLLINGWOOD VIC 3066		
AUSTRALIA ACN 082 120 812 ABN 1708 2120 812		







TOWN PLANNING

General Notes

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TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name

Proposed First Floor Plan

Project Leader	Drawn By	Scale @A3
SW	FP	1:100

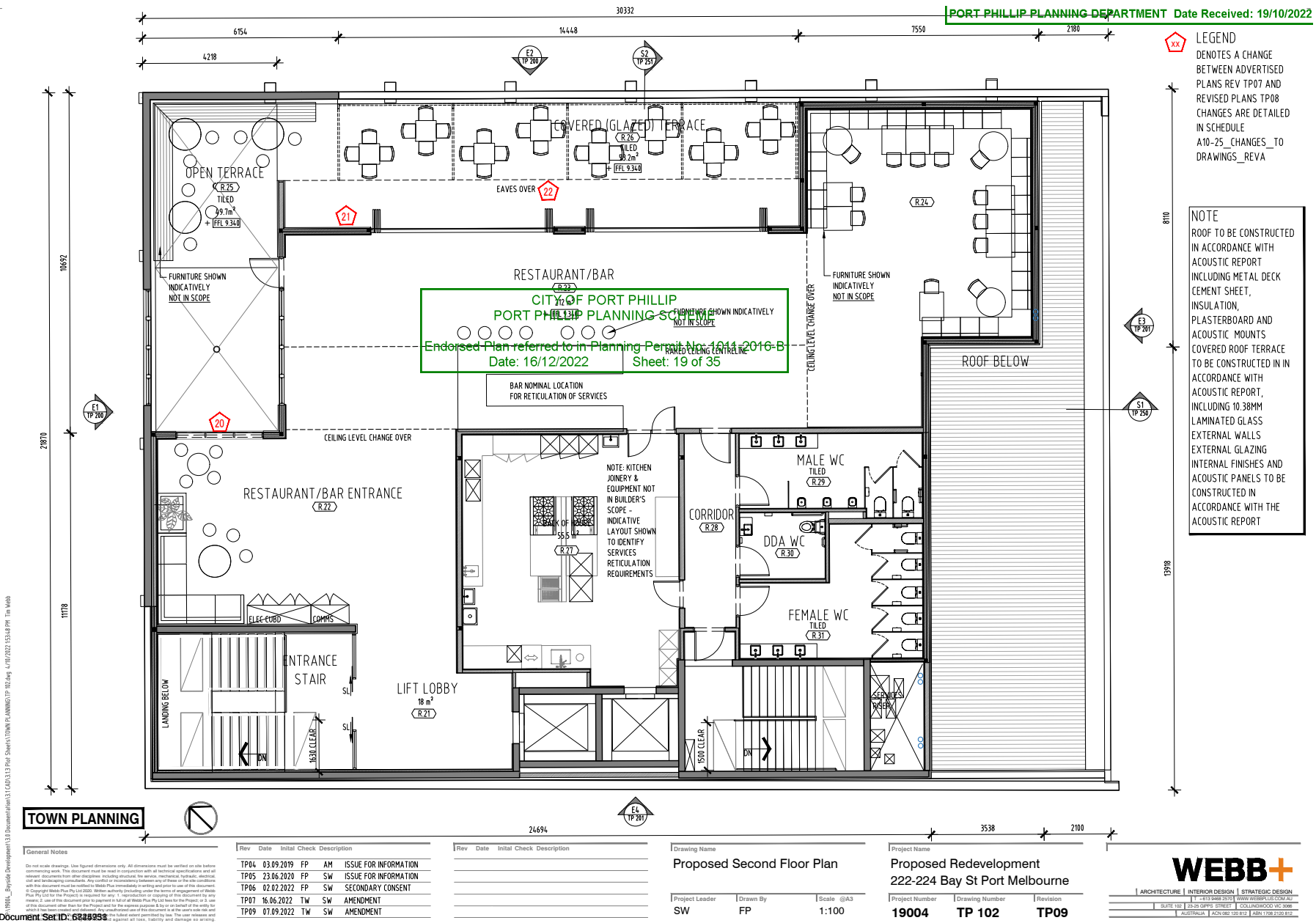
Project Name
**Proposed Redevelopment
222-224 Bay St Port Melbourne**

Project Number	Drawing Number	Revision
19004	TP 101	TP09

WEBB+

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
T + 613 9468 2570		WWW.WEBBPLUS.COM.AU
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 082 120 812	ABN 1708 2120 812

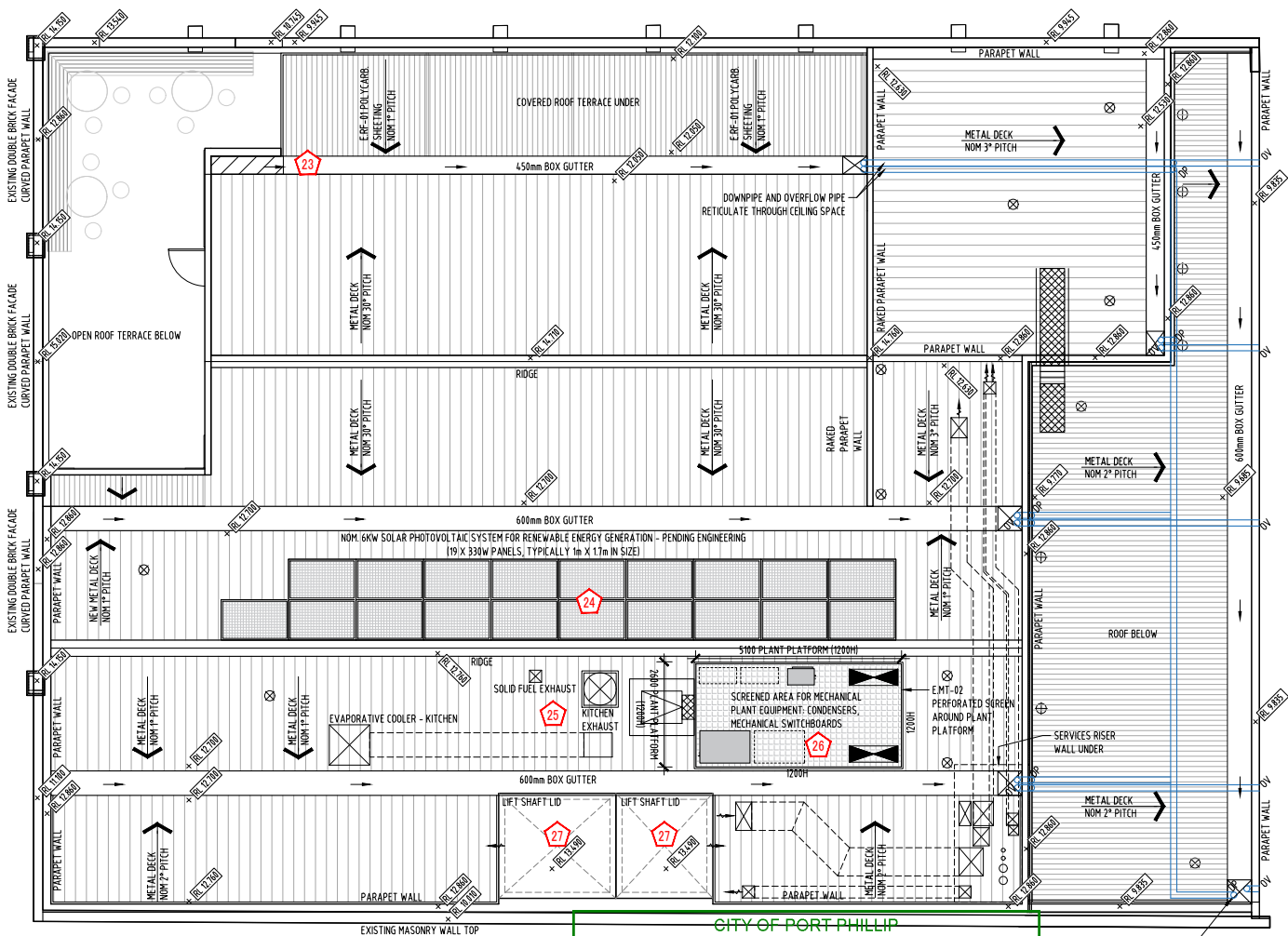
Attachment 3: Endorsed Plans



PORT PHILLIP PLANNING DEPARTMENT Date Received: 19/10/2022

LEGEND
XX
DENOTES A CHANGE
BETWEEN ADVERTISED
PLANS REV TP07 AND
REVISED PLANS TP08
CHANGES ARE DETAILED
IN SCHEDULE
A10-25_CHANGES_TO
DRAWINGS_REVA

NOTE
ROOF TO BE CONSTRUCTED
IN ACCORDANCE WITH
ACOUSTIC REPORT
INCLUDING METAL DECK
CEMENT SHEET,
INSULATION,
PLASTERBOARD AND
ACOUSTIC MOUNTS



CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME
Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 20 of 35

DOWNSIDE RECYCLES THROUGH WALL DOWN TO
RAINWATER TANK AT BASEMENT LEVEL
RAINWATER TANK REQUIRED TO CAPTURE A MINIMUM OF
80% OF ROOF WATER RUNOFF

TOWN PLANNING

General Notes

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TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name
Proposed Roof Plan
Project Leader
SW
Drawn By
FP
Scale
1:100

Project Name
Proposed Redevelopment 222-224 Bay St Port Melbourne
Project Number
19004
Drawing Number
TP 103
Revision
TP09

WEBB+

ARCHITECTURE | INTERIOR DESIGN | STRATEGIC DESIGN
11-415 948 2070 WWW.WEBBPLUS.COM.AU
ROUTE 102 | 25-26 SUPERS STREET | COOLANGBERRIE VIC 3998
AUSTRALIA | ACHN 081-100-812 | ABRN 1708-2120-B13

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 21 of 35

PORT PHILLIP PLANNING DEPARTMENT Date Received: 19/10/2022

ACOUSTIC NOTES

- IN ORDER TO PROVIDE SUFFICIENT NOISE CONTROL, THE PROPOSED FIXED GLAZED SECTIONS, BI-FOLD DOORS, AND HINGED DOOR SECTIONS WITHIN THE EXTERNAL FACADE MUST AS A MINIMUM BE CONSTRUCTED USING 10.38MM LAMINATED GLASS.
- IN ADDITION TO ACHIEVING THE REQUIRED SYSTEM, THE PROPOSED SYSTEM MUST BE CHOSEN FROM AUSTRALIAN LABORATORY TESTED SYSTEMS WHICH AT A MINIMUM CAN ACHIEVE A SOUND REDUCTION INDEX PERFORMANCES (Rw) OF 33. THIS WILL REQUIRE THE INCLUSION OF EFFECTIVE PERIMETER ACOUSTIC SEALS.

ELEVATION NOTES

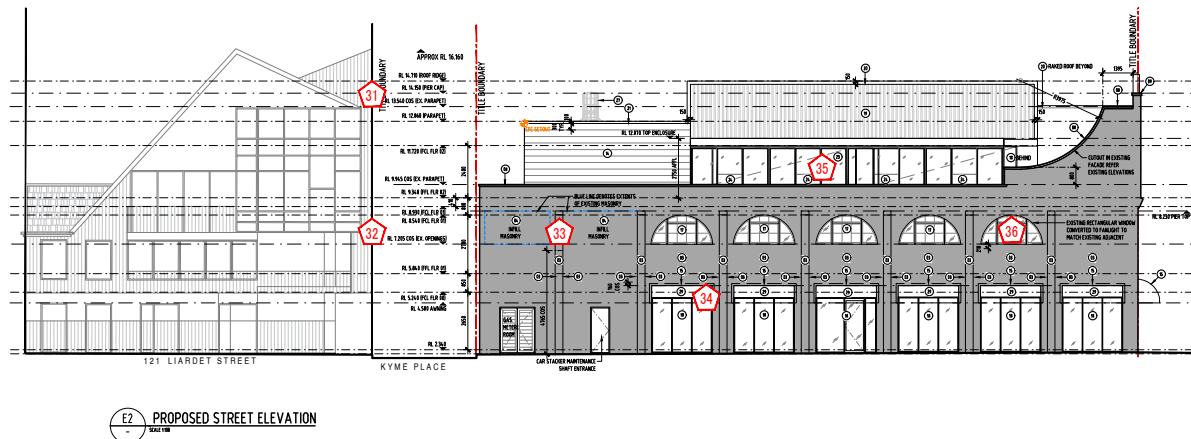
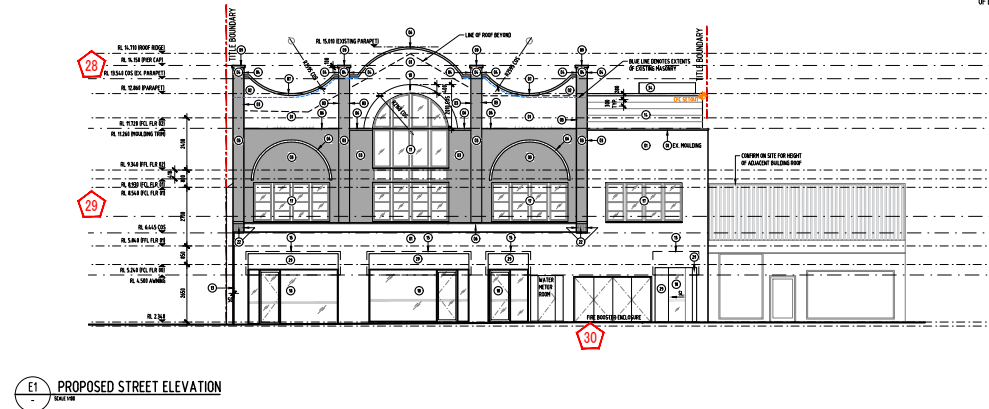
- ALL DIMENSIONS, FFL & FCL LEVELS ARE TO BE SITE CHECKED AND VERIFIED PRIOR TO ANY FABRICATION.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION TO BE ADJUSTED ACCORDINGLY, PRIOR TO COMMENCING ANY WORKS.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S PLANS, ELEVATIONS, DETAILS, FINISHES & SCHEDULES.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH SERVICE CONSULTANT'S DRAWINGS, SPECIFICATIONS & SCHEDULES INCL. MECHANICAL, ELECTRICAL, FIRE, HYDRAULIC, STRUCTURAL AND CIVIL SERVICE CONSULTANTS.

ELEVATION LEGEND

- EXISTING BROWNWORK RENDERED & PAINTED IN DULUX 'GHOSTING'
E.R-E-1 E.P-T-01
- NEW BROWNWORK RENDERED & PAINTED IN DULUX 'GHOSTING'
E.R-E-1 E.P-T-01
- EXISTING BROWNWORK RENDERED & PAINTED IN DULUX 'DUNE'
E.R-E-1 E.P-T-01
- NEW BROWNWORK RENDERED & PAINTED IN DULUX 'DUNE' E.R-E-1 & E.P-T-02
- NEW PIERCAST WALL RENDERED & PAINTED IN DULUX 'DUNE' E.R-E-1 & E.P-T-02
- EXISTING HOULING PAINTED IN DULUX 'GHOSTING' E.P-T-01
- NEW CORNICE HOULING PAINTED IN DULUX 'GHOSTING' E.M-L-01 & E.P-T-01
- NEW CORNICE HOULING PAINTED IN DULUX 'DUNE' E.M-L-01 & E.P-T-02
- NEW PIER CAP HOULING PAINTED IN DULUX 'DUNE' E.M-L-02 & E.P-T-02
- NEW FLAT ARCH HOULING OVER EXISTING WINDOW OPENING PAINTED IN DULUX 'GHOSTING' E.M-L-03 & E.P-T-01
- NEW WALL EDGE HOULING PAINTED IN DULUX 'DUNE' E.M-L-04 & E.P-T-02
- NEW HOULING PAINTED IN DULUX 'GHOSTING' E.P-T-01
- NEW HOULING PAINTED IN DULUX 'E.P-T-02
- EXISTING COMPRESSED FIBRE CEMENT SHEET CLADDING WITH HORIZONTAL BAND JOINTS E.C-L-01 REFER WALL TYPES
- CANVAS AWNING E.S-P-01
- CORNICE PROFILE TO BROWNWORK PAINTED DULUX 'DUNE' E.P-T-02
- NEW STEEL FRAMED WINDOW/DOOR IN EXISTING OPENING WITH WINDOW SCHEDULE FOR SPECIFICATION & FINISHES. OPENING DIMENSIONS TO BE CONFIRMED PRIOR TO MANUFACTURING.
- NEW STEEL FRAMED WINDOW/DOOR IN NEW OPENING. REFER WINDOW SCHEDULE FOR SPECIFICATION & FINISHES.
- ROOF SHEETING 150MM KULP-100 700 E.R-02 IN DULUX 'WOODLAND GREY' E.P-T-01
- ROOF FLASHING POWDERCOATED IN DULUX 'WOODLAND GREY' E.P-T-01 REFER PLAN A20-0
- PARAPET FLASHING POWDERCOATED IN DULUX 'WOODLAND GREY' E.P-T-01
- EXISTING HOULING PAINTED IN DULUX 'DUNE' E.P-T-02
- CLEAR GLASS ENCLOSURE ON SECOND FLOOR BALCONY REFER DETAIL A37-75
- FRAMELESS GLASS BALUSTRADE WITH CHANNEL ON PARAPET REFER DETAIL A37-75
- CIT SHEET CLADDING E.C-L-02 PAINTED E.P-T-01
- THREE-LEVEL CAR STACKER REFER DETAILS A37-80
- E2-02 ROOF ACCESS LADDER
- CONCRETE PIER/COLUMN PAINTED E.P-T-03
- CIT SHEET CLADDING E.C-L-02 PAINTED E.P-T-03
- PERFORATED STEEL SCREEN E.M-T-03
- EXISTING DOUBLE BRICK WALL ON BOUNDARY
- SUBSTATION DOUBLE DOORS PAINTED E.P-T-03
- E2-16 ROOF PLANT PLATFORM SCREENED WITH E.M-T-02
- E2-01 A1-02 E2-02 ELEVATORS OVERSEEN

LEGEND

DENOTES A CHANGE
 BETWEEN ADVERTISED
 PLANS REV TP07 AND
 REVISED PLANS TP08
 CHANGES ARE DETAILED
 IN SCHEDULE
 A10-25_CHANGES_TO
 DRAWINGS_REVA

**TOWN PLANNING**

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Rev	Date	Initial	Check	Description
TP04	03.09.2016	FP	AM	ISSUE FOR INFORMATION
TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name

Proposed Elevations Sheet 1

Project Leader	Drawn By	Scale @A3
SW	FP	1:200

Project Name

Proposed Redevelopment
222-224 Bay St Port Melbourne

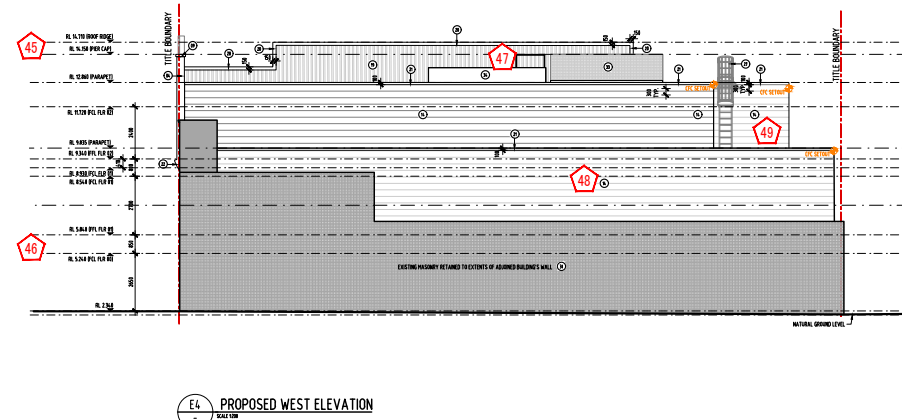
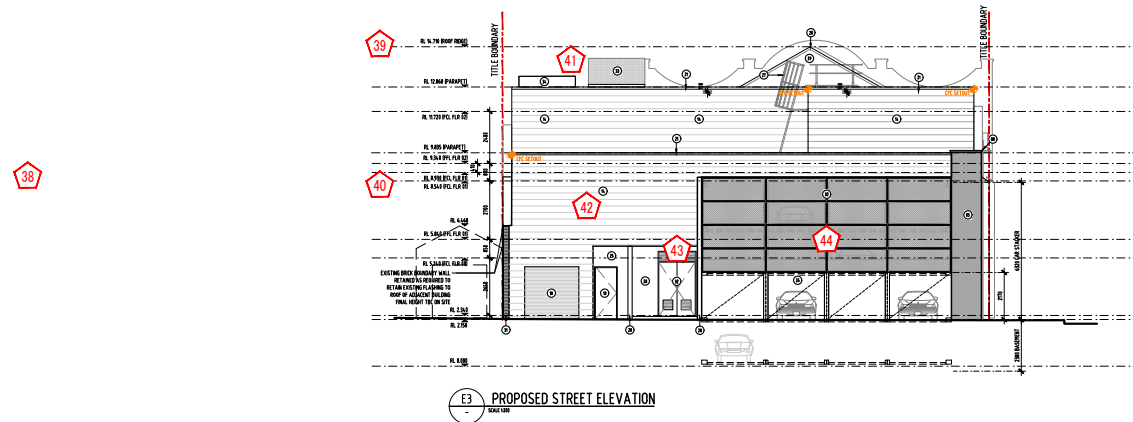
Project Number	Drawing Number	Revision
19004	TP 200	TP09

WEBB+

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
T +613 9468 2570		WWW.WEBBPLUS.COM.AU
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AL RTRMIA	ACN 092 100 812	ABN 1306 2120 812

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 22 of 35

**TOWN PLANNING**

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Rev	Date	Initial	Check	Description
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TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description
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Drawing Name

Proposed Second Floor Plan

Project Leader

Drawn By

Scale

1:10

Project Name

Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number:

Drawing Number

Revision

TP09

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T +613 9468 2570		WWW.WEBBPLUS.COM.AU
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 082 120 812	ABN 1708 2120 812

PORT PHILLIP PLANNING DEPARTMENT Date Received: 19/10/2022

ACUSTIC NOTES

- IN ORDER TO PROVIDE SUFFICIENT NOISE CONTROL, THE PROPOSED FIXED GLAZED SECTIONS, BI-FOLD DOORS, AND HINGED DOOR SECTIONS WITH THE EXTERNAL FACADE MUST AS A MINIMUM BE CONSTRUCTED USING 10.38MM LAMINATED GLASS.
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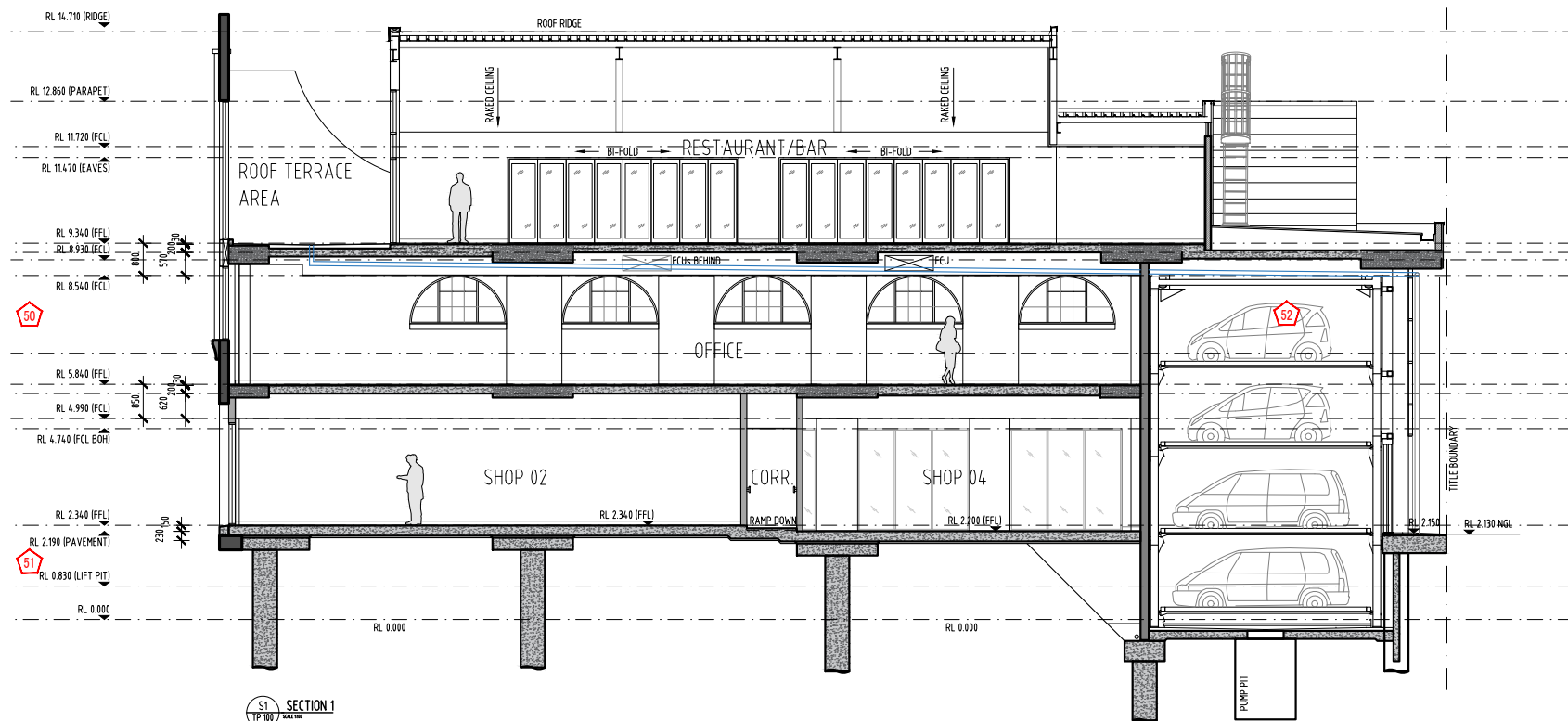
ELEVATION LEGEND

- ① EXISTING BRICKWORK RENDERED & PAINTED IN DULUX 'GHOSTING' E-RE-01 & E-PT-01
- ② NEW BRICKWORK RENDERED & PAINTED IN DULUX 'GHOSTING' E-RE-01 & E-PT-01
- ③ EXISTING BRICKWORK RENDERED & PAINTED IN DULUX 'DUNE' E-RE-01 & E-PT-02
- ④ NEW BRICKWORK RENDERED & PAINTED IN DULUX 'DUNE' E-RE-01 & E-PT-02
- ⑤ NEW PRECAST WALL RENDERED & PAINTED IN DULUX 'DUNE' E-RE-01 & E-PT-02
- ⑥ EXISTING MOULDING PAINTED IN DULUX 'GHOSTING' E-PT-01
- ⑦ NEW CONCRETE MOULDING PAINTED IN DULUX 'GHOSTING' E-PT-01 & E-PT-01
- ⑧ NEW CONCRETE MOULDING PAINTED IN DULUX 'DUNE' E-PT-01 & E-PT-02
- ⑨ NEW PER CAP MULDING PAINTED IN DULUX 'DUNE' E-PT-02 & E-PT-02
- ⑩ NEW FLAT RAIL MULDING OVER EXISTING MULDING OPENING PAINTED IN DULUX 'GHOSTING' E-PT-01 & E-PT-01
- ⑪ NEW WALL EDGE MULDING PAINTED IN DULUX 'DUNE' E-PT-04 & E-PT-02
- ⑫ NEW MULDING PAINTED IN DULUX 'GHOSTING' E-PT-01
- ⑬ NEW MULDING PAINTED IN DULUX 'DUNE' E-PT-02
- ⑭ EXISTING COMPRESSED FIBRE CEMENT SHEET CLADDING WITH HORIZONTAL BAND JOINTS E-CL-01. REFER WALL TYPES
- ⑮ CANVAS AWNING E-SP-01
- ⑯ CORNICE PROFILE TO BRICKWORK PAINTED DULUX 'DUNE' E-PT-02
- ⑰ NEW STEEL FRAMED WINDOW/DOOR IN EXISTING OPENING. REFER WINDOW SCHEDULE FOR SPECIFICATIONS & FINISHES. OPENING DIMENSIONS TO BE CONFIRMED PRIOR TO MANUFACTURING.
- ⑱ NEW STEEL FRAMED WINDOW/DOOR IN NEW OPENING. REFER WINDOW SCHEDULE FOR SPECIFICATIONS & FINISHES.
- ⑲ ROOF SHEETING LYSAGHT KLIP-LOK 700 E-RF-02 IN DULUX 'WOODLAND GREY' E-PT-01
- ⑳ ROOF FLASHING POWDERCOATED IN DULUX 'WOODLAND GREY' E-PT-01
- ㉑ ROOF REFER PLAN A2D-20
- ㉒ PARAPET FLASHING POWDERCOATED IN DULUX 'WOODLAND GREY' E-PT-01
- ㉓ EXISTING MULDING PAINTED IN DULUX 'DUNE' E-PT-02
- ㉔ CLEAR GLASS ENCLOSURE ON SECOND FLOOR BALCONY REFER DETAIL A87-75
- ㉕ FRAMELESS GLASS BALUSTRADE WITHIN CHANNEL ON PARAPET REFER DETAIL A87-75
- ㉖ 1/2" SHEET CLADDING E-CL-02 PAINTED E-PT-01
- ㉗ THREE-LEVEL CAR STACKER REFER DETAILS A87-80
- ㉘ E-02-12 ROOF ACCESS LADDER
- ㉙ CONCRETE PANEL/COLUMN PAINTED E-PT-03
- ㉚ 1/2" SHEET CLADDING E-CL-02 PAINTED E-PT-03
- ㉛ PERFORATED STEEL SCREEN E-PT-03
- ㉜ EXISTING DOUBLE BRICK WALL ON BOUNDARY
- ㉝ SUBSTANTION DOUBLE DOORS PAINTED E-PT-03
- ㉞ E-06 ROOF PLANT PLATFORM SCREENED WITH E-PT-02
- ㉟ E-01-01 E-02 ELEVATORS OVERRUN

 LEGEND

DENOTES A CHANGE
 BETWEEN ADVERTISED
 PLANS REV TP07 AND
 REVISED PLANS TP08
 CHANGES ARE DETAILED
 IN SCHEDULE
 A10-25_CHANGES_TO
 DRAWINGS REVA

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 23 of 35



General Notes

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Rev	Date	Initial	Check	Description
TP04	03.09.2019	FP	AM	ISSUE FOR INFORMATION
TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

[illegible]

Project Leader	Drawn By	Scale @A3
SW	FP	1:100

Project Number	Drawing Number	Revision
19004	TP 250	TP09

WEBB+

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
T +613 9466 2570		WWW.WEBBPLUS.COM.AU
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AL RTRAI JA	ACN 082 150 812	ARN 1706 2150 812

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME
Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 24 of 35

LEGEND
DENOTES A CHANGE
BETWEEN ADVERTISED
PLANS REV TP07 AND
REVISED PLANS TP08
CHANGES ARE DETAILED
IN SCHEDULE
A10-25_CHANGES_TO
DRAWINGS_REVA



TOWN PLANNING

General Notes

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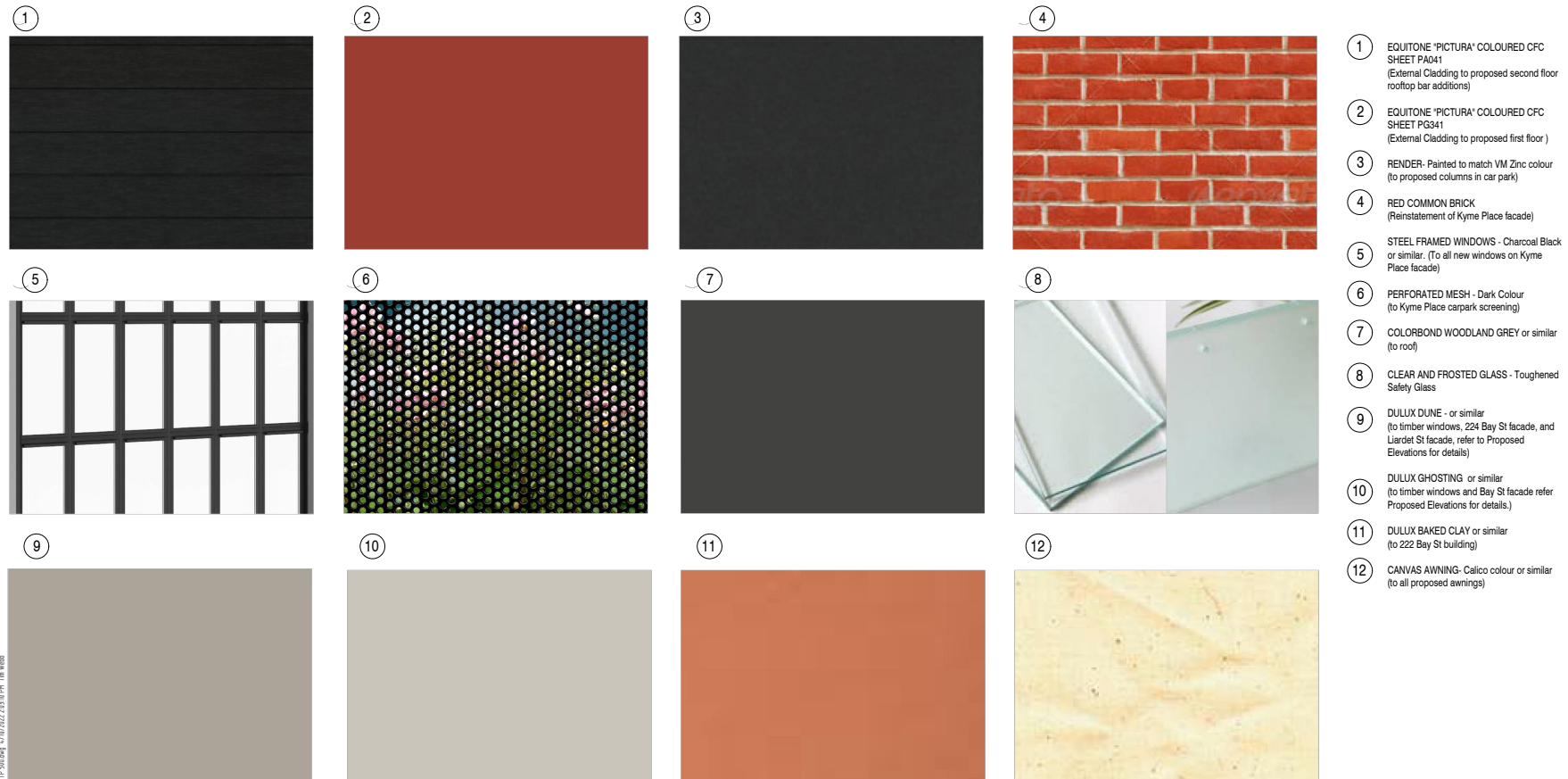
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TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name			
Proposed Section 2			
Project Leader	Drawn By	Scale	@A3
SW	FP	1:100	

Project Name			
Proposed Redevelopment 222-224 Bay St Port Melbourne			
Project Number	Drawing Number	Revision	
19004	TP 251	TP09	

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ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN	
11-413 948 2010 WWW.WEBBPLUS.COM.AU			
ROUTE 102 25-26 SUPPLY STREET COLLINGWOOD VIC 3068			
AUSTRALIA ACN 089 120 812 ABN 1708 2300 812			



CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 25 of 35

FOR INFORMATION

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Document Set ID: 6325958

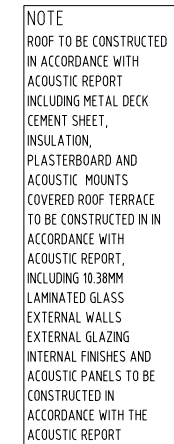
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TP05	14.01.2022	FP	SW	SECONDARY CONSENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

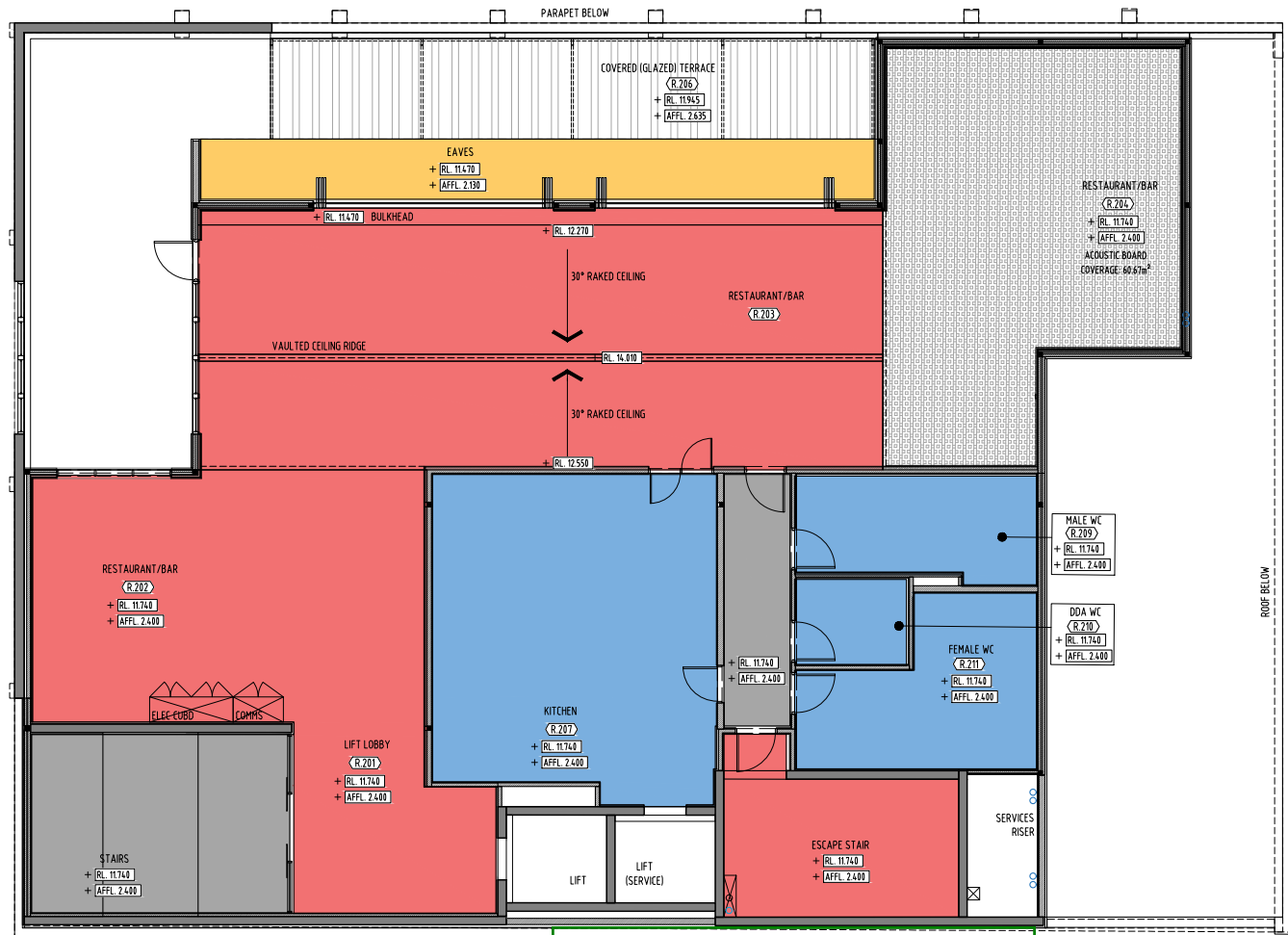
Drawing Name		
Proposed Finishes Schedule		
Project Leader	Drawn By	Scale @A3
SW	FP	NTS

Project Name		
Proposed Redevelopment 222-224 Bay St Port Melbourne		
Project Number	Drawing Number	Revision
19004	TP 500	TP09

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
SUITE 102 23-25 DUFF STREET COLLINGWOOD VIC 3066 AUSTRALIA ACN 082 120 812 ABN 1708 2120 812		



ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
T + 613 9468 2570		WWW.WEBBPLUS.COM.AU
SUITE 102	23-25 GIPPS STREET	COLLINGWOOD VIC 3066
AUSTRALIA	ACN 082 120 812	ABN 1708 2120 812



REFLECTED CEILING PLAN LEGEND (FINISHES)

- RONDO DUO SUSPENDED GRID CEILING
DWA ALTO ACOUSTIC TILE
1200x600
SQUARE EDGE
- RONDO DUO SUSPENDED GRID CEILING
DWA ALTO ACOUSTIC TILE
600x600
SQUARE EDGE
- 13mm PLASTERBOARD CEILING
PAINTED IPT-01
- WATERPROOF PLASTERBOARD CEILING
PAINTED IPT-02
- 9mm CFC SHEET EXTERNAL CEILING
PAINTED EPT-03
- 2x16mm FIRE-RATED PLASTERBOARD ON RESILIENT MOUNTS
PAINTED IPT-01
- EXPOSED UNDERSIDE OF SLAB
- EXPOSED UNDERSIDE OF CLEAR POLYCARBONATE ROOF SHEETING
- WC-01
24mm ACOUSTIC SHEETING

NOTE
ROOF TO BE CONSTRUCTED IN ACCORDANCE WITH ACOUSTIC REPORT INCLUDING METAL DECK CEMENT SHEET, INSULATION, PLASTERBOARD AND ACOUSTIC MOUNTS
COVERED ROOF TERRACE TO BE CONSTRUCTED IN ACCORDANCE WITH ACOUSTIC REPORT, INCLUDING 10.38MM LAMINATED GLASS EXTERNAL WALLS EXTERNAL GLAZING
INTERNAL FINISHES AND ACOUSTIC PANELS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ACOUSTIC REPORT

TOWN PLANNING



01 PROPOSED RCP SECOND FLOOR

General Notes

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Rev Date Initial Check Description

TP01 16.06.2022 TW SW AMENDMENT
TP09 07.09.2022 TW SW AMENDMENT

Rev Date Initial Check Description

Drawing Name
Second Floor
Proposed RCP

Project Leader SW
Drawn By FP
Scale: 1:100

Project Name
Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number 19004
Drawing Number TP 701
Revision TP09

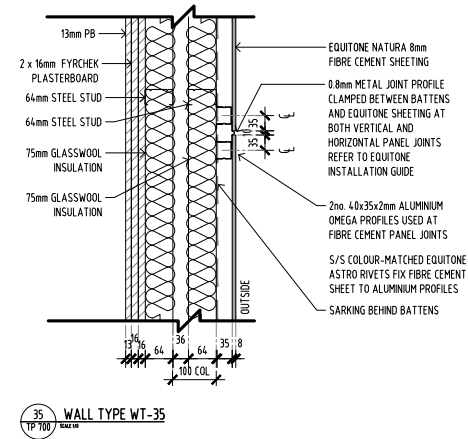
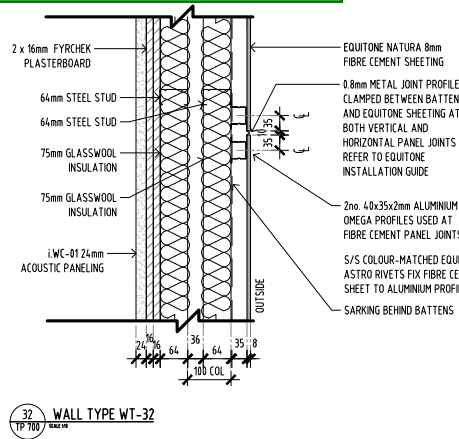
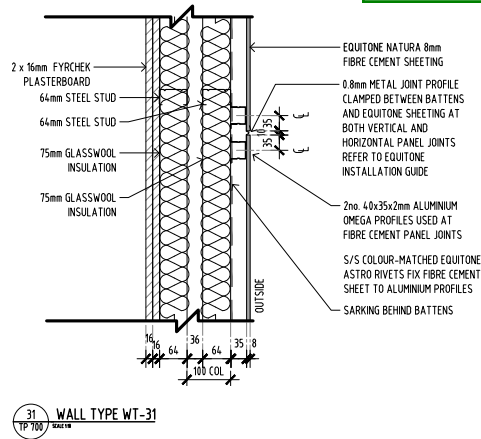
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11-113444-0101 WWW.WEBBPLUS.COM.AU
SUITE 102 | 23-25 GIPPS STREET | COLLINGWOOD VIC 3066
AUSTRAILIA | ACN 088 100 812 | 088 1708 2300 812

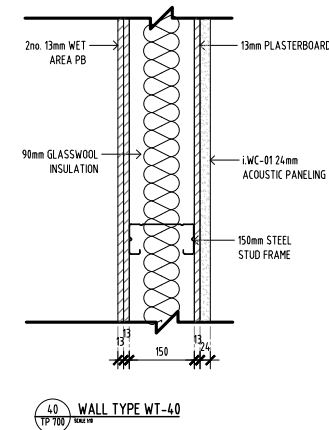
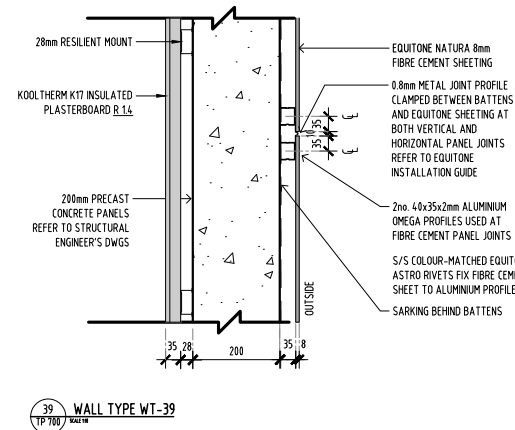
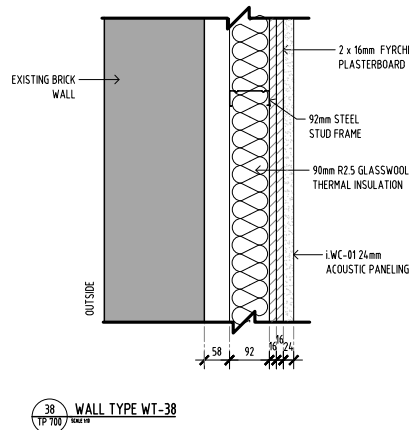
Attachment 3: Endorsed Plans

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME
Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 28 of 35

PORT PHILLIP PLANNING DEPARTMENT Date Received: 19/10/2022



NOTE
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TOWN PLANNING

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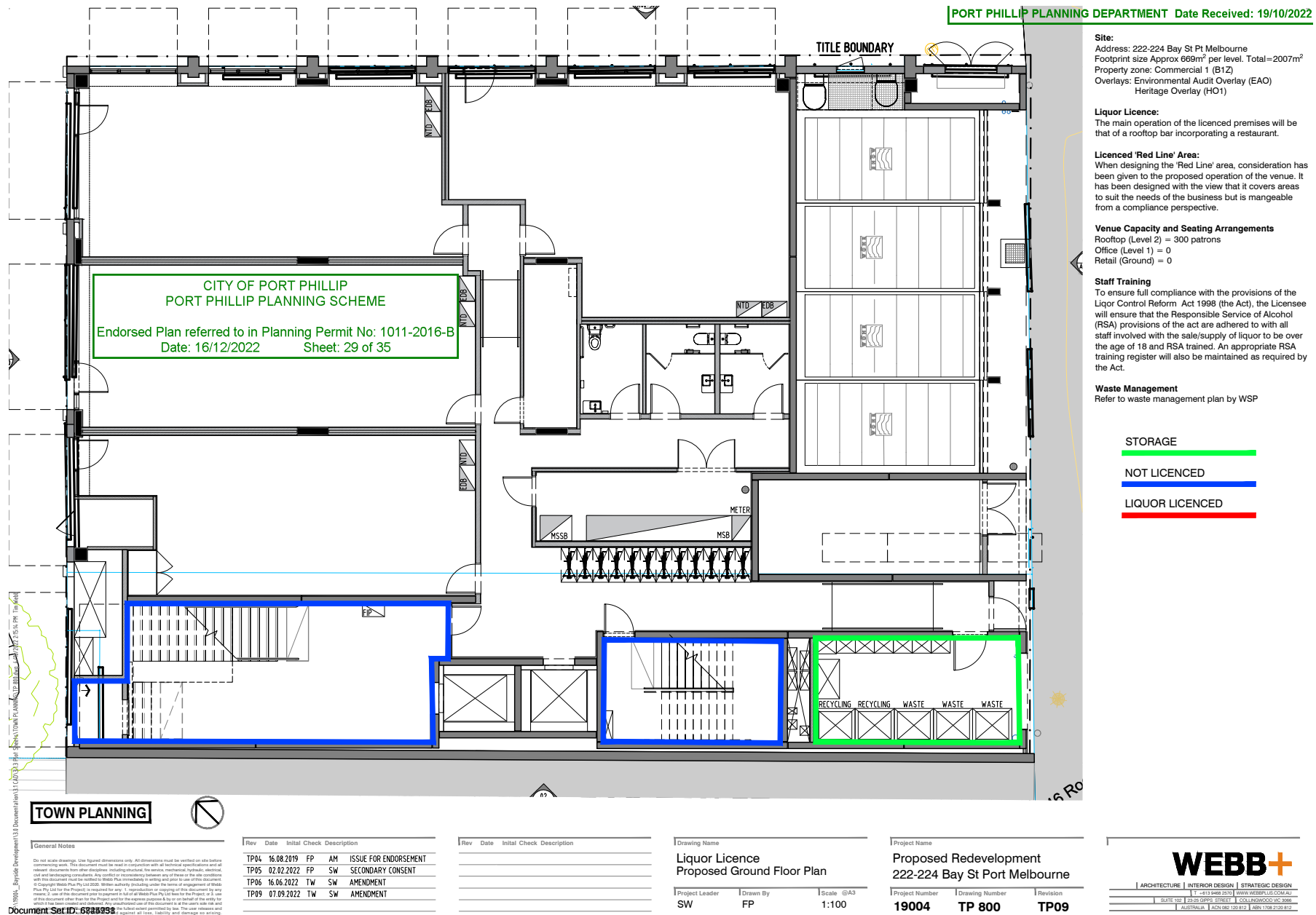
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TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

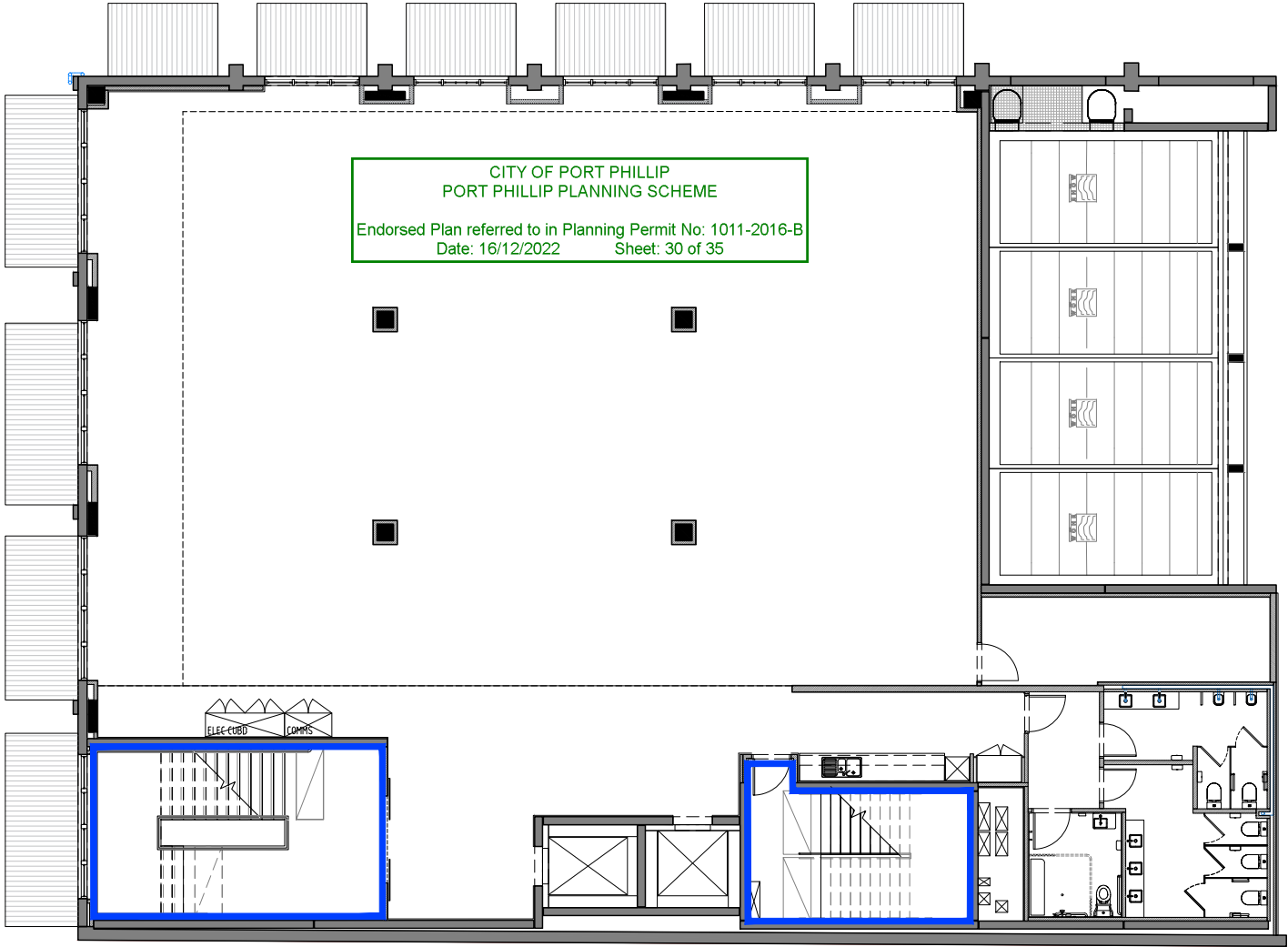
Drawing Name	Project Leader	Drawn By	Scale	@A3
Second Floor Wall Type Details	SW	FP	1:100	

Project Name	Project Number	Drawing Number	Revision
Proposed Redevelopment 222-224 Bay St Port Melbourne	19004	TP 702	TP09

ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
11-1111 9488 2010 WWW.WEBB.COM.AU		
11-1111 9488 2010 WWW.WEBB.COM.AU		
11-1111 9488 2010 WWW.WEBB.COM.AU		



PORT PHILLIP PLANNING DEPARTMENT Date Received: 19/10/2022



TOWN PLANNING



01 PROPOSED FIRST FLOOR PLAN
SCALE 1:100

General Notes

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Rev	Date	Initial	Check	Description
TP04	16.08.2019	FP	AM	ISSUE FOR ENDORSEMENT
TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT

Rev	Date	Initial	Check	Description

Drawing Name
Liquor Licence
Proposed First Floor Plan

Project Leader	Drawn By	Scale	@A3
SW	FP	1:100	

Project Name
Proposed Redevelopment
222-224 Bay St Port Melbourne

Project Number	Drawing Number	Revision
19004	TP 801	TP09

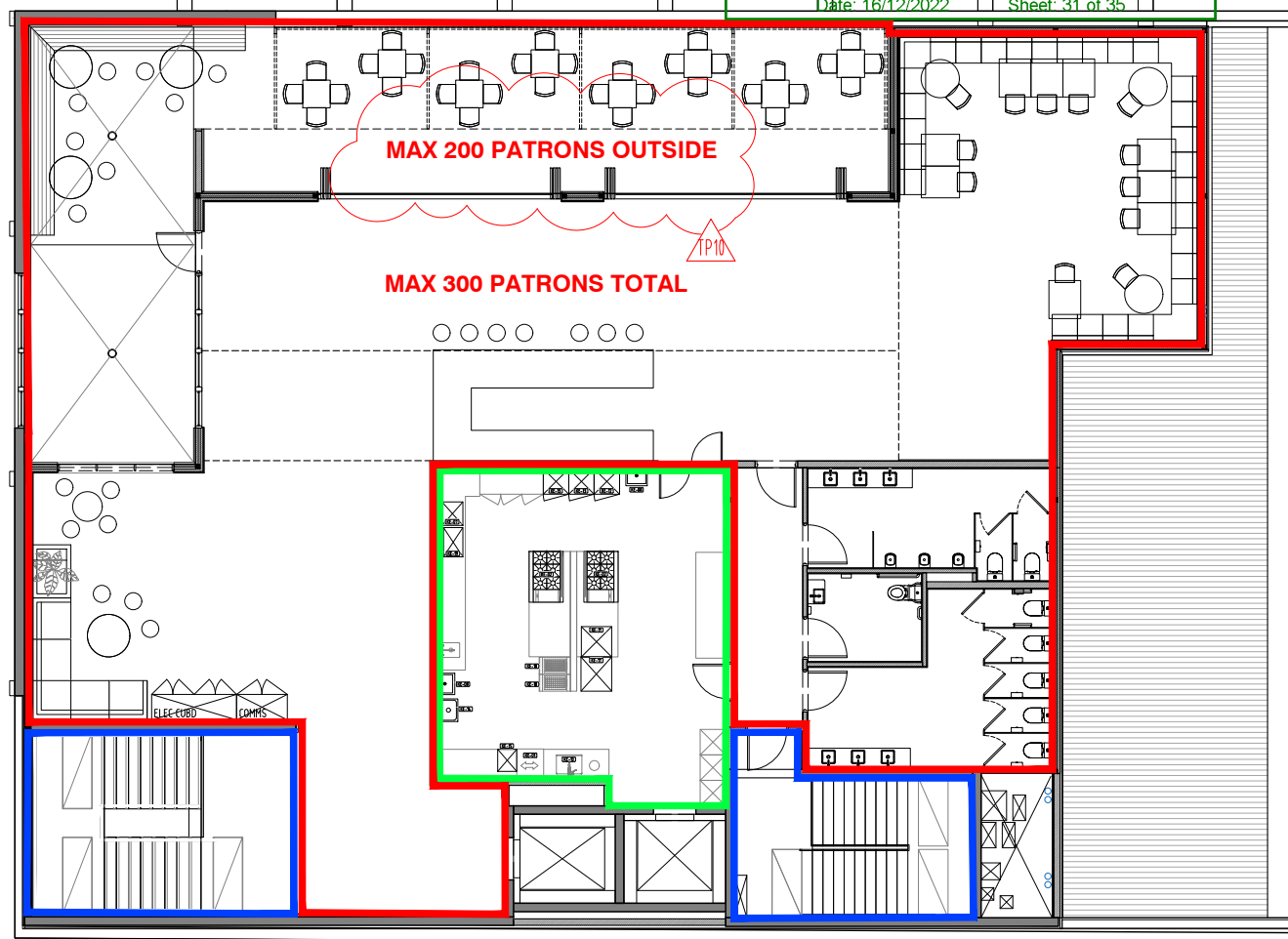
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ARCHITECTURE	INTERIOR DESIGN	STRATEGIC DESIGN
STATE 102	25-29 SYPHYS STREET	COCKLEBAY VIC 3086
AUSTRALIA	ACN 081 120 812	ABN 1708 2100 812

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

PORT PHILLIP PLANNING DEPARTMENT Date Received: 8 December 2022

OUTSIDE AREA CLOSED AFTER 10PM

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 31 of 35

Site:
Address: 222-224 Bay St Port Melbourne
Footprint size Approx 669m² per level.
Total ~2007m²
Property zone: Commercial 1 (B1Z)
Overlays: Environmental Audit Overlay (EAO)
Heritage Overlay (HO1)

Liquor Licence:
The main operation of the licenced premises will be that of a rooftop bar incorporating a restaurant.

Licensed 'Red Line' Area:
When designing the 'Red Line' area, consideration has been given to the proposed operation of the venue. It has been designed with the view that it covers areas to suit the needs of the business but is manageable from a compliance perspective.

Venue Capacity and Seating Arrangements
Rooftop (Level 2) = 300 patrons total
Rooftop Terrace = 200 patrons
Office (Level 1) = 0
Retail (Ground) = 0

Staff Training
To ensure full compliance with the provisions of the Liquor Control Reform Act 1998 (the Act), the Licensee will ensure that the Responsible Service of Alcohol (RSA) provisions of the act are adhered to with all staff involved with the sale/supply of liquor to be over the age of 18 and RSA trained. An appropriate RSA training register will also be maintained as required by the Act.

Waste Management
Refer to waste management Plan by WSP

STORAGE

NOT LICENCED

LIQUOR LICENCED

TOWN PLANNING



01 PROPOSED SECOND FLOOR PLAN

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Document Set ID: 6845951

Rev	Date	Initial	Check	Description
TP04	16.08.2019	FP	AM	ISSUE FOR ENDORSEMENT
TP05	02.02.2022	FP	SW	SECONDARY CONSENT
TP06	16.06.2022	TW	SW	AMENDMENT
TP09	07.09.2022	TW	SW	AMENDMENT
TP10	05.12.2022	TW	SW	TERRACE NUMBERS CHANGED

Rev	Date	Initial	Check	Description
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Drawing Name

Liquor Licence
Proposed Second Floor PlanProject Leader
SWDrawn By
FPScale @A3
1:100

Project Name

Proposed Redevelopment
222-224 Bay St Port MelbourneProject Number
19004Drawing Number
TP 802Revision
TP10

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ARCHITECTURE | INTERIOR DESIGN | STRATEGIC DESIGN
11-115 948 2010 | WWW.WEBBPLUS.COM.AU
SUITE 100 | 25-25 SUPERS STREET | COLLINGWOOD VIC 3066
AUSTRALIA | ACN 081 120 812 | ABN 1708 2120 812

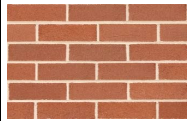
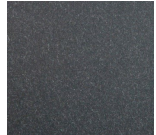
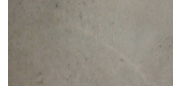
BAY STREET EXTERIOR FINISHES SCHEDULE**A10-20e**

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME
Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 32 of 35

PORT PHILLIP PLANNING DEPARTMENT Date Received: 30/6/2022

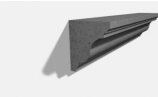
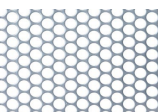
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SUITE 102 | 23-25 GIPPS STREET | COLLINGWOOD VIC 3066 | AUSTRALIA

PROJECT: 222-224 Bay Street		PROJECT NO: 19004	CLIENT: Despina Mouratides in conjunction with Old Bay Cinema Testamentary Trust					ISSUE: TENDER		ISSUE DATE: 28/02/2022	REVISION: T1
DESIGNER'S CODE:	ITEM:	LOCATION:	SPECIFICATION	QUANTITY	UNIT COST (excl. GST)	TOTAL COST (excl. GST)	NOTES	Lead Time	Proposed Supplier	Image	Rev
EXTERNAL MASONRY											
E.BR-01	Common red brick	South-eastern infill - Refer external elevations	Selection: Series: Code: Colour: Finish:	Austral Bowral 76 Capitol Red Some sections clad in RE-01, refer external elevations					Austral Bricks		T1
EXTERNAL CLADDING											
E.CL-01	Compressed Fibre Cement Sheeting (horizontal orientation)	Refer external elevations A05-01 & A05-02	Selection: Series: Code: Colour: Finish: Thickness: Max Size:	Equitone Natura N251 Dark Grey Natura 8mm 3100 x 1250mm			Through colour CFC sheet. Expressed Joints. Mechanically fixed. Coloured rivet head to match panel. Refer to dwgs for panel layouts.		CSP Architectural Brendan Newitt 0433 997 337		T1
E.CL-02	Fibre Cement Cladding Panel	Painted Façade Wall Lining	Selection: Series: Code: Thickness: Fixing	Scyon Exotec Cladding Paint Finish 9mm Countersunk concealed			Expressed Joint with Exotec top hat		CSP Architectural Brendan Newitt 0433 997 337		T1
CONCRETE											
E.CR-01	Concrete Panels	Refer to ground floor plan and elevations	Selection: Note:	Off-form grey Class 4 finish to AS3610			Approved finishes samples required prior to manufacture Image indicative ONLY				T1
E.CR-02	Concrete Paving	Refer to ground floor plan and elevations	Selection: Series: Code: Colour:				Approved finishes samples required prior to manufacture Image indicative ONLY				T1
MOULDINGS											

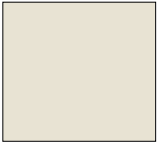
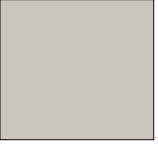
BAY STREET EXTERIOR FINISHES SCHEDULE**A10-20e****WEBB+**

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DESIGNER'S CODE:	ITEM:	LOCATION:	SPECIFICATION		QUANTITY	UNIT COST (excl. GST)	TOTAL COST (excl. GST)	NOTES	Lead Time	Proposed Supplier	Image	Rev
E.ML-01	Cornice moulding to parapet	Refer external elevations A05-01 & A05-02	Selection: Series: Code: Colour:	Unitex Parapet Mouldings EP4183 E.PT-02				Custom curved moulding required for North-eastern façade refer external elevations		Unitex 1800 RENDER sales@unitex.com.au		T1
E.ML-02	Pier cap moulding	Refer external elevations A05-01 & A05-02	Selection: Series: Code: Colour:	Unitex Column Capping Mouldings CC4SQR350 E.PT-02	4					Unitex 1800 RENDER sales@unitex.com.au		T1
E.ML-03	Flat band arch moulding above large arched window	Refer external elevations A05-01 & A05-02	Selection: Series: Code: Colour:	Unitex CUSTOM				400mm height 30mm width Similar to CP408630		Unitex 1800 RENDER sales@unitex.com.au		T1
METAL												
E.MT-01	Colorbond	Downpipes, sumps, aluminium framed windows & doors, flashing	Selection: Series: Colour: Size:	Colorbond Steel Woodland Grey								T1
E.MT-02	Perforated Screen	Carstacker screen Roof plant screen	Selection: Colour: Finish: Size: Open Area:	Locker Group Sheer 2800 Aluminium powder coated Dulux Woodland Grey 3mm thickness 1200mm max width				70% open area required for natural ventilation of car stacker Open area requirement for roof plant TBC		Locker Group		T1
PAINT												

BAY STREET EXTERIOR FINISHES SCHEDULE**A10-20e****WEBB+**

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 SUITE 102 | 23-25 GIPPS STREET | COLLINGWOOD VIC 3066 | AUSTRALIA

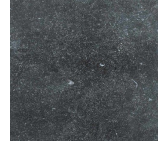
DESIGNER'S CODE:	ITEM:	LOCATION:	SPECIFICATION	QUANTITY	UNIT COST (excl. GST)	TOTAL COST (excl. GST)	NOTES	Lead Time	Proposed Supplier	Image	Rev
E. PT-01	Paint	Refer external elevations A05-01 & A05-02	Selection: Series: Colour: Code: Dulux Exterior Low sheen Ghosting S15A1						Dulux		T1
E. PT-02	Paint	Refer external elevations A05-01 & A05-02	Selection: Series: Colour: Code: Dulux Exterior Low sheen Dune SW1D6						Dulux		T1
E. PT-03	Paint	Refer external elevations A05-01 & A05-02	Selection: Series: Colour: Code: Dulux Exterior Low sheen Woodland Grey C23						Dulux		T1
RENDERS											
E.RE-01	Render	Refer external elevations A05-01 & A05-02	Selection: Application: Finish: Lime render Three coats Painted E.PT-01						TBC		T1
ROOFING											
E.RF-01	Metal deck roof sheeting	Roof	Selection: Colour: Profile Size: Suntuf Smart Grey Spantuf 754mm						Suntuf		T1

CITY OF PORT PHILLIP
PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
Date: 16/12/2022 Sheet: 34 of 35

BAY STREET EXTERIOR FINISHES SCHEDULE**A10-20e****WEBB+**

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DESIGNER'S CODE:	ITEM:	LOCATION:	SPECIFICATION		QUANTITY	UNIT COST (excl. GST)	TOTAL COST (excl. GST)	NOTES	Lead Time	Proposed Supplier	Image	Rev
E.RF-02	Polycarbonate (clear) roof sheeting	Roof - terrace glazed area	Selection: Colour: Profile Size:	Lysaght Woodland Grey (E.MT-01) Klip-Lok 700						Lysaght		T1
SPECIAL/MISC												
E.SP-01	Canvas Canopy Awnings	Refer ground floor plan A02-10 and external elevations A05-01 & A05-02 Front of retail tenancies	Selection: Shape: Fabric: Colour: Warranty:	Barrington Convex Canopy Canvas 204 Monument 10 Years	10			Size list to be provided Image indicative of shape only Shop drawings and fabric samples required		Hardback Blinds		T1
TILES												
E.TL-01	Tiled entrance	Refer ground floor plan A02-10 and floor finishes plan	Selection: Series: Code: Colour: Finish: Format:	Blue.s Anti-slip range Blue.s Ego Natural 600x300				P3 slip rating		Classic Ceramics		T1

CITY OF PORT PHILLIP
 PORT PHILLIP PLANNING SCHEME

Endorsed Plan referred to in Planning Permit No: 1011-2016-B
 Date: 16/12/2022 Sheet: 35 of 35