

BAL-01	BALUSTRADE - GREEN (LIGHT) LOW-E COATING - REFLECTIVE FINISH
CONC-01	EXPOSED AGGREGATE POLISHED FINISH - GREY
CONC-02	EXPOSED AGGREGATE POLISHED FINISH - GREEN
CONC-03	CONCRETE PRECAST - GREY
GL-01	GLAZING - GREEN (LIGHT) DGU LOW-E COATING
GL-01A	SPANDREL GLAZING - GREEN (LIGHT) DGU LOW-E COATING
GL-02	GLAZING - ADD ETCHED LOW-E COATING
GL-03	GLAZING - CLEAR DGU
GL-04	GLAZING - AS PER GL-01 WITH VERTICAL FINS FIXED WITHIN THE DGU
GRC-01	CONCRETE - GREY
LED-01	EXTERNAL LED STRIP LIGHT
LVR-01	BRONZE POWDERCOATED ALUMINIUM LOUVERS
LVR-02	BRONZE POWDERCOATED VERTICAL LOUVERS (BALCONY)
LVR-03	GREEN (LIGHT) OPERABLE HORIZONTAL LOUVERS (WINTERGARDEN)
TPD-01	BRONZE POWDERCOATED MESH OPERABLE SCREEN
AW	AWNING WINDOWS

NOTE: ALL MATERIALS AND GLAZING USED ON ALL EXTERNAL WALLS ARE AS PER SPECIFIED IN REFLECTIVITY REPORT, AND MUST BE OF A TYPE THAT DOES NOT REFLECT MORE THAN 20% OF VISIBLE LIGHT, WHEN MEASURED AT AN ANGLE OF 90 DEGREES TO THE SURFACE.

NO LED LIGHT TO BE USED ALONG THE SOUTHERN ELEVATION WITH THE EXCEPTION OF BALCONY LIGHTS USED FOR THE PURPOSES OF LIGHTING THE BALCONY FOR ITS USE.

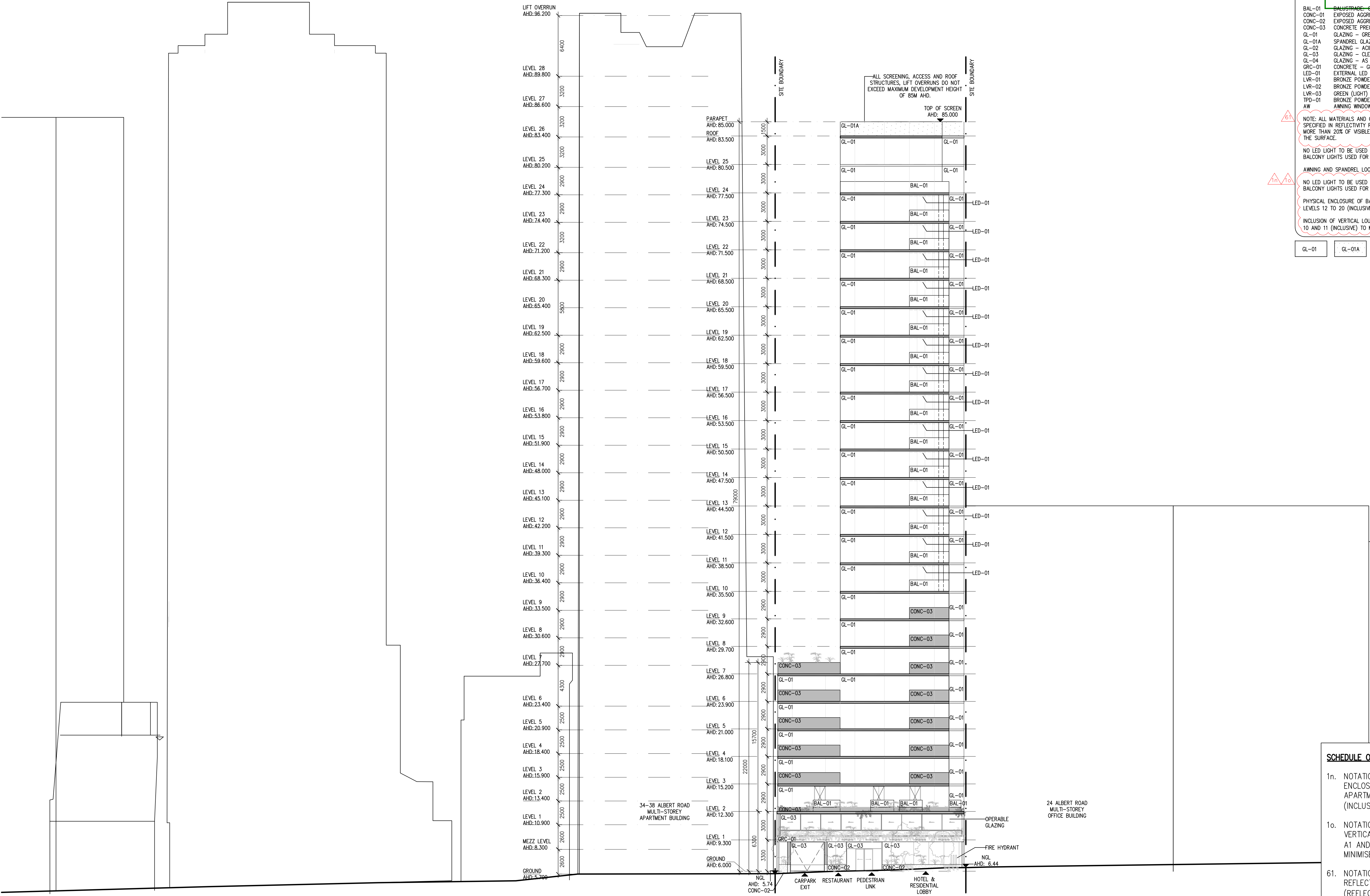
AWNING AND SPANDREL LOCATIONS ARE SHOWN INDICATIVELY.

NO LED LIGHT TO BE USED ALONG THE SOUTHERN ELEVATION WITH THE EXCEPTION OF BALCONY LIGHTS USED FOR THE PURPOSES OF LIGHTING THE BALCONY FOR ITS USE.

PHYSICAL ENCLOSURE OF BALCONIES ASSOCIATED WITH APARTMENTS A1 AND A3 ON LEVELS 12 TO 20 (INCLUSIVE) TO A HEIGHT OF 1.7M ABOVE FFL.

INCLUSION OF VERTICAL LOUVRES ON BALCONIES FOR APARTMENTS A1 & A3 ON LEVELS 10 AND 11 (INCLUSIVE) TO MINIMISE DIRECT VIEWS TO THE ADJOINING SITE.

GL-01	GL-01A	GL-02	GL-03	GL-04	AW
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SCHEDULE OF CHANGES:

- NOTATION ADDED TO INDICATE THE PHYSICAL ENCLOSURE OF BALCONIES ASSOCIATED WITH APARTMENTS A1 AND A3 ON LEVELS 12 TO 20 (INCLUSIVE) TO A HEIGHT OF 1.7M ABOVE FFL.
- NOTATION ADDED TO INDICATE INCLUSION OF VERTICAL LOUVRES ON BALCONIES FOR APARTMENTS A1 AND A3 ON LEVELS 10 AND 11 (INCLUSIVE) TO MINIMISE DIRECT VIEWS TO ADJOINING SITE.
- NOTATION UPDATED TO SPECIFY GLAZING REFLECTIVITY AS REQUIRED BY CONDITION 61 (REFLECTIVITY ASSESSMENT.)

DATE	REVISION No.	REASON FOR ISSUE	DRAWN BY	DATE	REVISION No.	REASON FOR ISSUE	DRAWN BY
22.05.2017	-	ISSUED FOR DESIGN FREEZE	NA				
06.07.2017	A	ISSUED FOR TOWN PLANNING	NA				
22.08.2017	B	ISSUED FOR TOWN PLANNING	NA				
06.11.2017	C	ISSUED FOR TOWN PLANNING	NA				
14.02.2018	D	ISSUED FOR TP R01	LM				
31.01.2019	E	ISSUED FOR TP R01	RK				
07.04.2022	F	ISSUED FOR TP AMENDMENT	PK				
22.06.2022	G	ISSUED FOR TP AMENDMENT	PK				
30.08.2022	H	ISSUED FOR INFORMATION	PK				
16.12.2022	J	ISSUED FOR INFORMATION	PK				
25.07.2023	K	ISSUED FOR TP R01	PK				
30.10.2023	M	ISSUED FOR TP R01	NO				

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SCALE@A1 1:200 @ A1
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ABN 57 555 588 726

Project Title
28-32 ALBERT ROAD SOUTH MELBOURNE

Client
M PROPERTY

Drawing Title
ELEVATION - EAST

Project Number
17016
Drawing Status
TP

Drawing Number
A0900
Revision
M

Nov 01, 2023 - 4:12pm

FINISHES

CODE

DESCRIPTION

BAL-01	BALCONY GREEN (LIGHT) LOW-E COATING - REFLECTIVE FINISH
CONC-01	EXPOSED AGGREGATE POLISHED FINISH - GREY
CONC-02	EXPOSED AGGREGATE POLISHED FINISH - GREEN
CONC-03	CONCRETE PRECAST - GREY
GL-01	GLAZING - GREEN (LIGHT) DGU LOW-E COATING
GL-01A	SPANDREL GLAZING - GREEN (LIGHT) DGU LOW-E COATING
GL-02	GLAZING - ADD ETCHED LOW-E COATING
GL-03	GLAZING - CLEAR DGU
GL-04	GLAZING - AS PER GL-01 WITH VERTICAL FINS FIXED WITHIN THE DGU
GRC-01	CONCRETE - GREY
LED-01	EXTERNAL LED STRIP LIGHT
LVR-01	BRONZE POWDERCOATED ALUMINIUM LOUVERS
LVR-02	BRONZE POWDERCOATED VERTICAL LOUVERS (BALCONY)
LVR-03	GREEN (LIGHT) OPERABLE HORIZONTAL LOUVERS (WINTERGARDEN)
TPD-01	BRONZE POWDERCOATED MESH OPERABLE SCREEN
AW	AWNING WINDOWS

NOTE: ALL MATERIALS AND GLAZING USED ON ALL EXTERNAL WALLS ARE AS PER SPECIFIED IN REFLECTIVITY REPORT, AND MUST BE OF A TYPE THAT DOES NOT REFLECT MORE THAN 20% OF VISIBLE LIGHT, WHEN MEASURED AT AN ANGLE OF 90 DEGREES TO THE SURFACE.

NO LED LIGHT TO BE USED ALONG THE SOUTHERN ELEVATION WITH THE EXCEPTION OF BALCONY LIGHTS USED FOR THE PURPOSES OF LIGHTING THE BALCONY FOR ITS USE.

AWNING AND SPANDREL LOCATIONS ARE SHOWN INDICATIVELY.

NO LED LIGHT TO BE USED ALONG THE SOUTHERN ELEVATION WITH THE EXCEPTION OF BALCONY LIGHTS USED FOR THE PURPOSES OF LIGHTING THE BALCONY FOR ITS USE.

PHYSICAL ENCLOSURE OF BALCONIES ASSOCIATED WITH APARTMENTS A1 AND A3 ON LEVELS 12 TO 20 (INCLUSIVE) TO A HEIGHT OF 1.7M ABOVE FFL.

INCLUSION OF VERTICAL LOUVERS ON BALCONIES FOR APARTMENTS A1 & A3 ON LEVELS 10 AND 11 (INCLUSIVE) TO MINIMISE DIRECT VIEWS TO THE ADJOINING SITE.

GL-01

GL-01A

GL-02

GL-03

GL-04

AW

SCHEDULE OF CHANGES:

- 1n. NOTATION ADDED TO INDICATE THE PHYSICAL ENCLOSURE OF BALCONIES ASSOCIATED WITH APARTMENTS A1 AND A3 ON LEVELS 12 TO 20 (INCLUSIVE) TO A HEIGHT OF 1.7M ABOVE FFL.
- 1o. NOTATION ADDED TO INDICATE INCLUSION OF VERTICAL LOUVRES ON BALCONIES FOR APARTMENTS A1 AND A3 ON LEVELS 10 AND 11 (INCLUSIVE) TO MINIMISE DIRECT VIEWS TO ADJOINING SITE.
- 1z. FULL HEIGHT GLAZING ADOPTED AS REQUIRED BY CONDITION 32 (WIND IMPACT ASSESSMENT).
61. NOTATION UPDATED TO SPECIFY GLAZING REFLECTIVITY AS REQUIRED BY CONDITION 61 (REFLECTIVITY ASSESSMENT.)

DATE	REVISION No.	REASON FOR ISSUE	DRAWN BY
12.12.2019	A	SATA VICAT ISSUE	JK
09.04.2020	B	SATA VICAT ISSUE	HO
10.09.2020	D	AGREEMENT PLANS	RK
07.04.2022	E	ISSUED FOR TP AMENDMENT	PK
22.06.2022	F	ISSUED FOR TP AMENDMENT	PK
30.08.2022	G	ISSUED FOR INFORMATION	PK
16.12.2022	H	ISSUED FOR INFORMATION	PK
25.07.2023	J	ISSUED FOR TP RFI	PK
30.10.2023	M	ISSUED FOR TP RFI	NO

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A0001711011001720

Project Title

**28-32 ALBERT ROAD
SOUTH MELBOURNE**

Client

M PROPERTY

Drawing Title

ELEVATION - SOUTH

Project Number

17016

Drawing Status

TP

Drawing Number

A0901

Revision

M

Nov 01, 2023 - 4:13pm

CODE	DESCRIPTION
BAL-01	BALCONY - GREEN (LIGHT) LOW-E COATING - REFLECTIVE FINISH
CONC-01	EXPOSED AGGREGATE POLISHED FINISH - GREY
CONC-02	EXPOSED AGGREGATE POLISHED FINISH - GREEN
CONC-03	CONCRETE PRECAST - GREY
GL-01	GLAZING - GREEN (LIGHT) DGU LOW-E COATING
GL-01A	SPANDREL GLAZING - GREEN (LIGHT) DGU LOW-E COATING
GL-02	GLAZING - ADD ETCHED LOW-E COATING
GL-03	GLAZING - CLEAR DGU
GL-04	GLAZING - AS PER GL-01 WITH VERTICAL FINS FIXED WITHIN THE DGU
GRC-01	CONCRETE - GREY
LED-01	EXTERNAL LED STRIP LIGHT
LVR-01	BRONZE POWDERCOATED ALUMINIUM LOUVERS
LVR-02	BRONZE POWDERCOATED VERTICAL LOUVERS (BALCONY)
LVR-03	GREEN (LIGHT) OPERABLE HORIZONTAL LOUVERS (WINTERGARDEN)
TPD-01	BRONZE POWDERCOATED MESH OPERABLE SCREEN
AW	AWNING WINDOWS

NOTE: ALL MATERIALS AND GLAZING USED ON ALL EXTERNAL WALLS ARE AS PER SPECIFIED IN REFLECTIVITY REPORT, AND MUST BE OF A TYPE THAT DOES NOT REFLECT MORE THAN 20% OF VISIBLE LIGHT, WHEN MEASURED AT AN ANGLE OF 90 DEGREES TO THE SURFACE.

NO LED LIGHT TO BE USED ALONG THE SOUTHERN ELEVATION WITH THE EXCEPTION OF BALCONY LIGHTS USED FOR THE PURPOSES OF LIGHTING THE BALCONY FOR ITS USE.

AWNING AND SPANDREL LOCATIONS ARE SHOWN INDICATIVELY.

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INCLUSION OF VERTICAL LOUVRES ON BALCONIES FOR APARTMENTS A1 & A3 ON LEVELS 10 AND 11 (INCLUSIVE) TO MINIMISE DIRECT VIEWS TO THE ADJOINING SITE.

GL-01	GL-01A	GL-02	GL-03	GL-04	AW
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SCHEDULE OF CHANGES:

- NOTATION ADDED TO INDICATE THE PHYSICAL ENCLOSURE OF BALCONIES ASSOCIATED WITH APARTMENTS A1 AND A3 ON LEVELS 12 TO 20 (INCLUSIVE) TO A HEIGHT OF 1.7M ABOVE FFL.
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- NOTATION UPDATED TO SPECIFY GLAZING REFLECTIVITY AS REQUIRED BY CONDITION 61 (REFLECTIVITY ASSESSMENT.)

DATE	REVISION No.	REASON FOR ISSUE	DRAWN BY	DATE	REVISION No.	REASON FOR ISSUE	DRAWN BY
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09.04.2020	B	SATA VICAT ISSUE	HO				
10.09.2020	D	AGREEMENT PLANS	RK				
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30.08.2022	G	ISSUED FOR INFORMATION	PK				
16.12.2022	H	ISSUED FOR INFORMATION	PK				
25.07.2023	J	ISSUED FOR TP RFI	PK				
30.10.2023	M	ISSUED FOR TP RFI	NO				

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SCALE@A1 1:200 @A1
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MAIL@E-F.COM.AU WWW.E-F.COM.AU
ABN 57 555 588 726

Project Title
**28-32 ALBERT ROAD
SOUTH MELBOURNE**

Client
M PROPERTY

Drawing Title
ELEVATION - WEST

Project Number
17016
Drawing Status
TP

Drawing Number
A0902
Revision
M

Nov 01, 2023 - 4:14pm

SECONDARY CONSENT APPROVAL

under Condition No. 2 in Planning Permit No: 1051/2017/A

This approval relates to the indicated/highlighted area(s) only

Date: 24/09/2024

Sheet: 34 of 65

CODE	DESCRIPTION
BAL-01	BALCONY GREEN (LIGHT) LOW-E COATING - REFLECTIVE FINISH
CONC-01	EXPOSED AGGREGATE POLISHED FINISH - GREY
CONC-02	EXPOSED AGGREGATE POLISHED FINISH - GREEN
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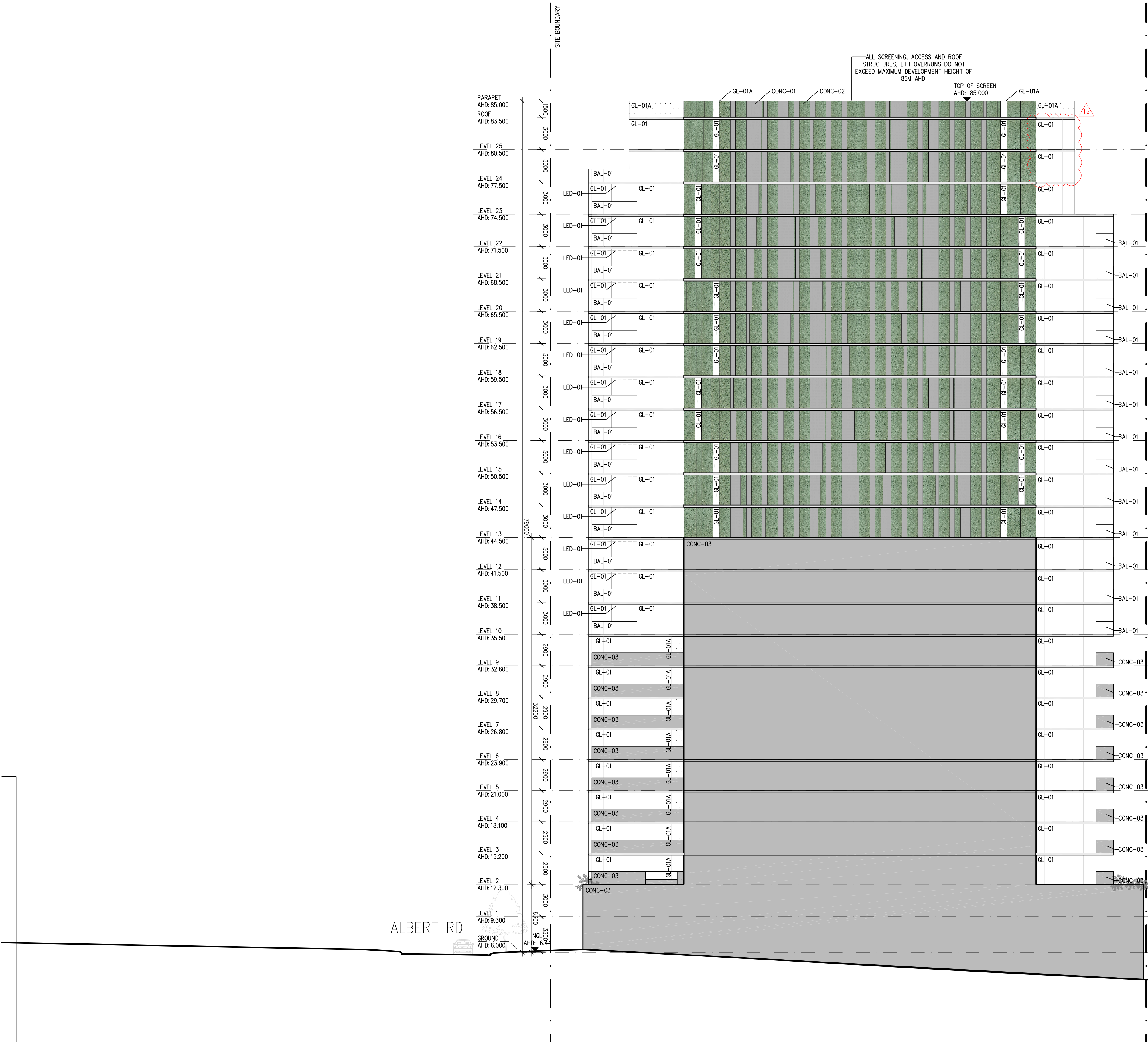
PHYSICAL ENCLOSURE OF BALCONIES ASSOCIATED WITH APARTMENTS A1 AND A3 ON LEVELS 12 TO 20 (INCLUSIVE) TO A HEIGHT OF 1.7M ABOVE FFL.

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GL-01	GL-01A	GL-02	GL-03	GL-04	AW
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SCHEDULE OF CHANGES:

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- FULL HEIGHT GLAZING ADOPTED AS REQUIRED BY CONDITION 32 (WIND IMPACT ASSESSMENT).
- NOTATION UPDATED TO SPECIFY GLAZING REFLECTIVITY AS REQUIRED BY CONDITION 61 (REFLECTIVITY ASSESSMENT.)



DATE	REVISION No.	REASON FOR ISSUE	DRAWN BY
12.12.2019	A	SATA VICAT ISSUE	JK
09.04.2020	B	SATA VICAT ISSUE	HO
10.09.2020	D	AGREEMENT PLANS	RK
07.04.2022	E	ISSUED FOR TP AMENDMENT	PK
22.06.2022	F	ISSUED FOR TP AMENDMENT	PK
30.08.2022	G	ISSUED FOR INFORMATION	PK
16.12.2022	H	ISSUED FOR INFORMATION	PK
25.07.2023	J	ISSUED FOR TP RH	PK
30.10.2023	M	ISSUED FOR TP RH	NO

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SCALE @ A1 1:200 @ A1
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HBN 17 155 188 726

Project Title
**28-32 ALBERT ROAD
SOUTH MELBOURNE**

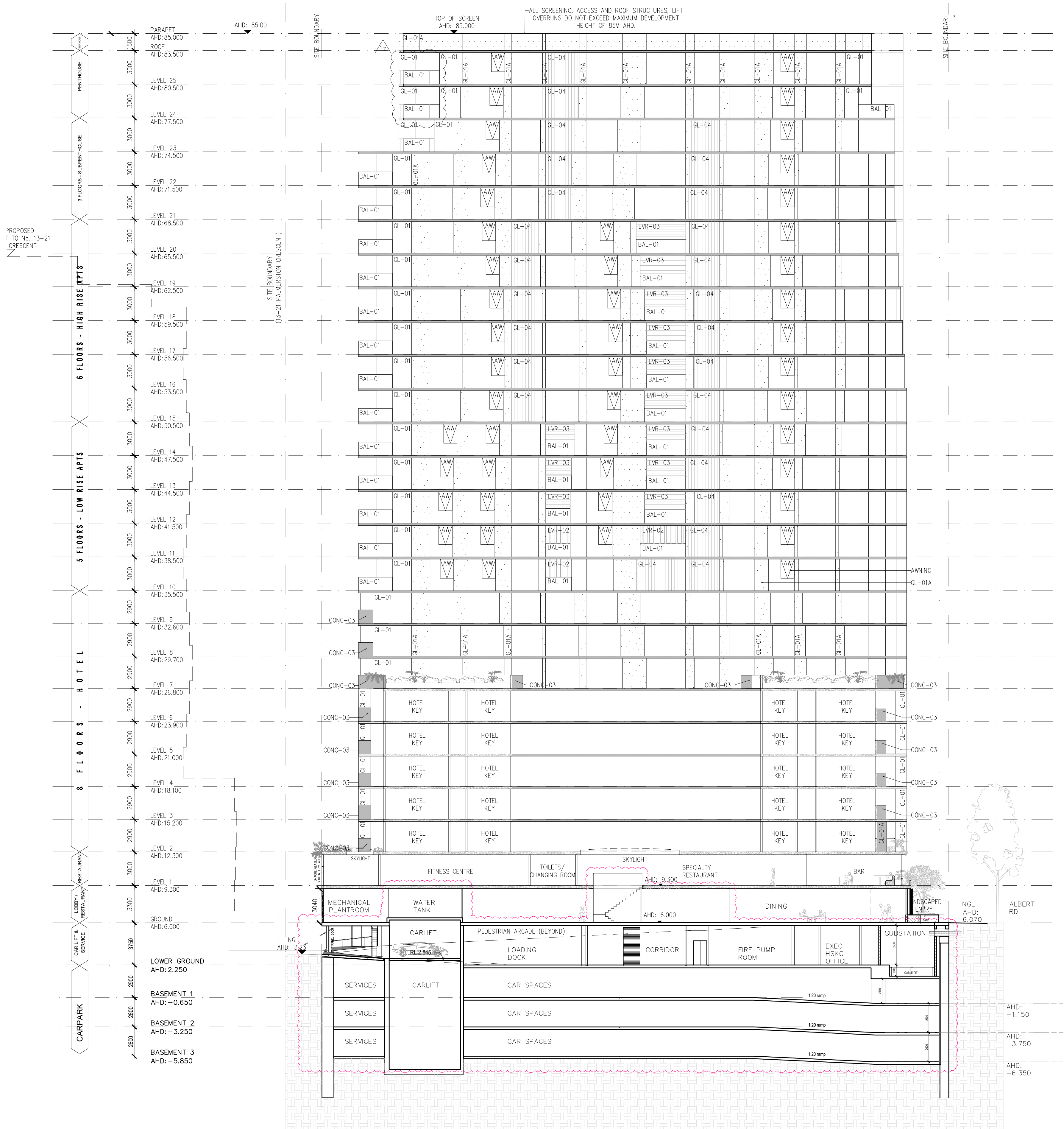
Client
M PROPERTY

Drawing Title
ELEVATION - NORTH

Project Number
17016
Drawing Status
TP

Drawing Number
A0903
Revision
M

Nov 01, 2023 - 4:16pm



REVISIONS

No	Date	Description	By
N	25.01.24	SECONDARY CONSENT APPLICATION	CP

PROJECT TITLE
PROPOSED MIXED USE DEVELOPMENT
28 - 32 ALBERT ROAD, SOUTH MELBOURNE

DRAWING TITLE
SECTION AA

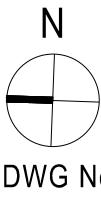
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DATE:
SEPT 2023

PROJECT No:

10212

DRAWN BY:



DWG No:

A0950

REV

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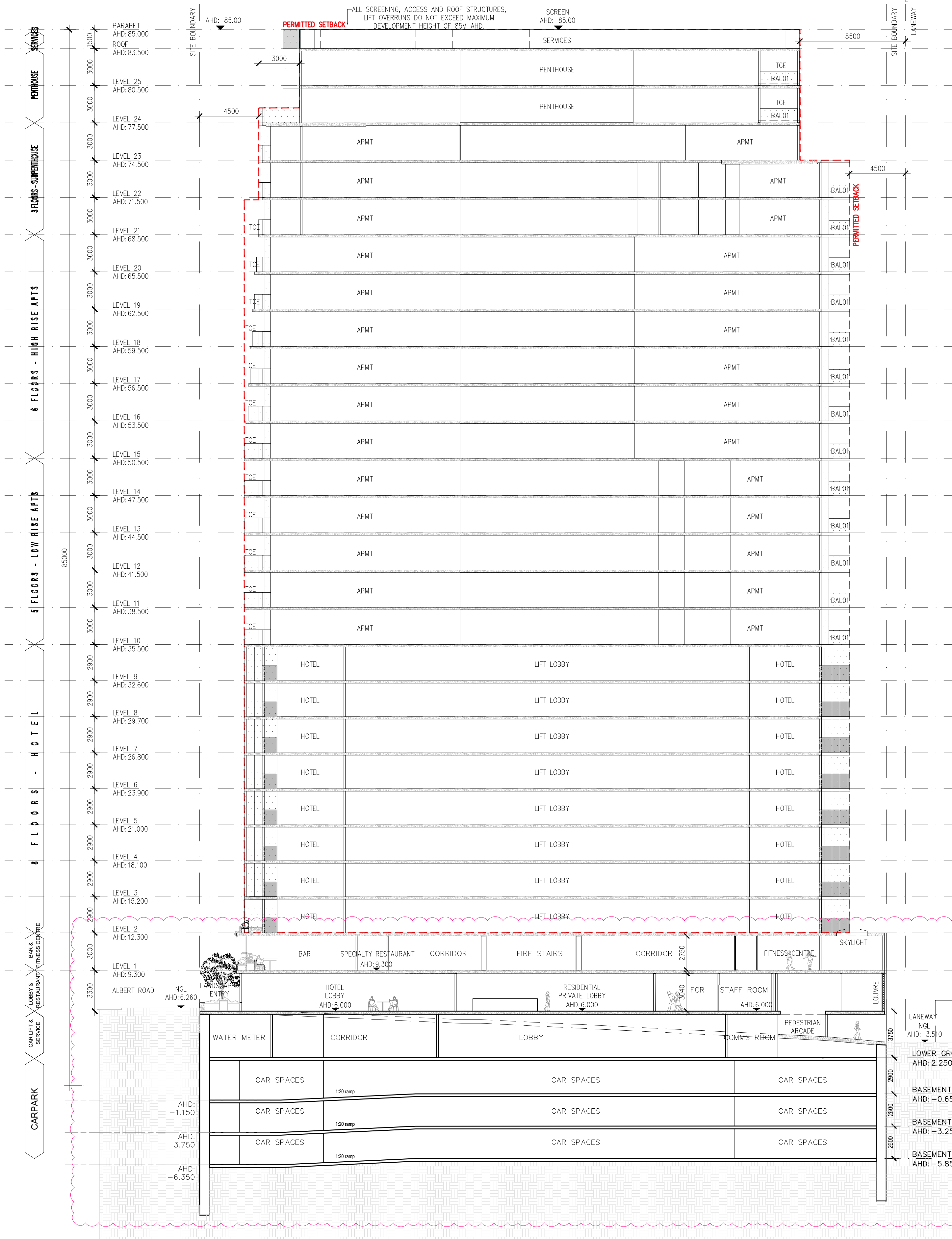
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Nominated Architect: Andrew Pham / Victoria ARBV 16732 / NSW ARB 11635



OUTLINE OF PROPOSED
DEVELOPMENT TO No. 13-21
PALMERSTON CRESCENT

REVISIONS			
No	Date	Description	By
N	25.01.24	SECONDARY CONSENT APPLICATION	CP

PROJECT TITLE
PROPOSED MIXED USE DEVELOPMENT
28 - 32 ALBERT ROAD, SOUTH MELBOURNE

DRAWING TITLE
SECTION BB

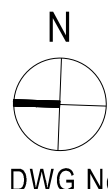
SCALE @ A1: 1:200@A3

DATE:
SEPT 2023

PROJECT No:

10212

DRAWN BY:



DWG No:

A0951

REV

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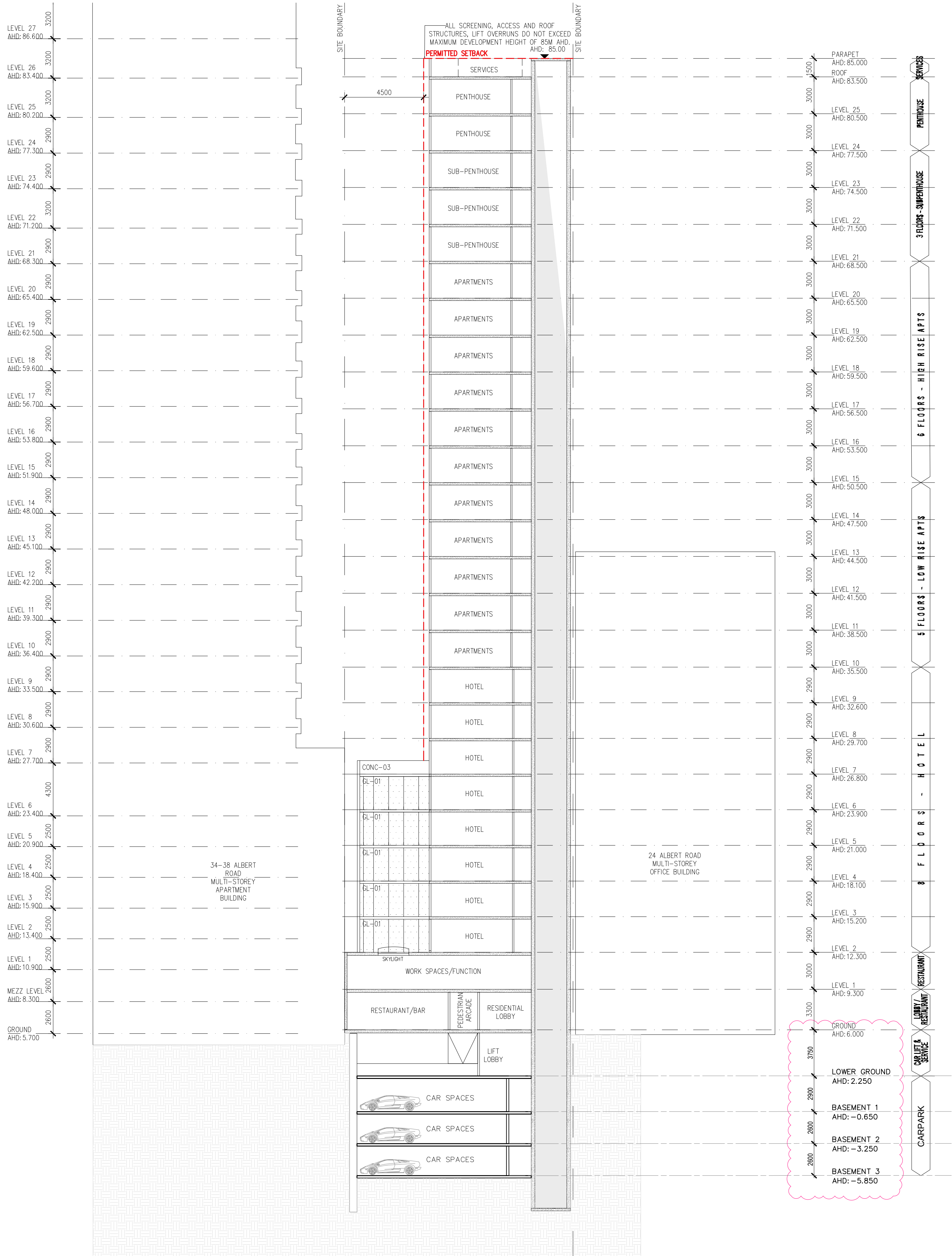
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Nominated Architect: Andrew Pham / Victoria ARBV 16732 / NSW ARB 11635



REVISIONS			
No	Date	Description	By
N	25.01.24	SECONDARY CONSENT APPLICATION	CP

PROJECT TITLE
PROPOSED MIXED USE DEVELOPMENT
28 - 32 ALBERT ROAD, SOUTH MELBOURNE

DRAWING TITLE
SECTION CC

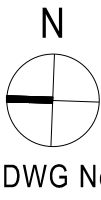
SCALE @ A1: 1:200@A3

DATE:
SEPT 2023

PROJECT No:

10212

DRAWN BY:



DWG No:

A0952

REV

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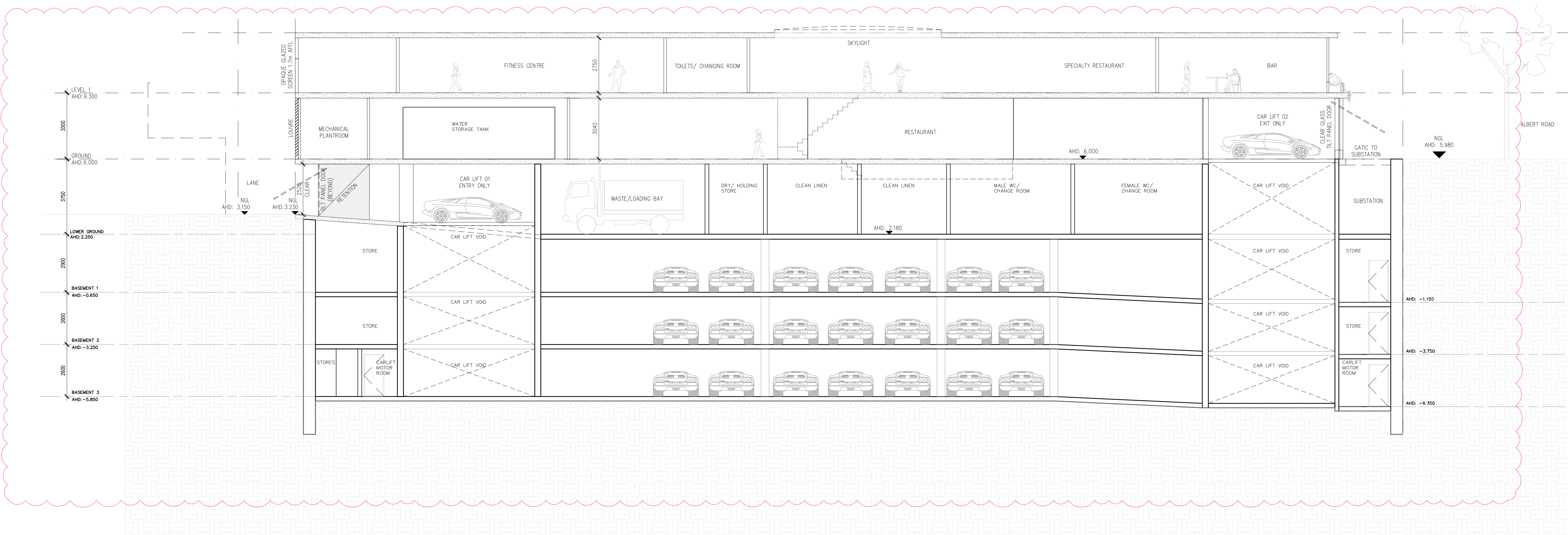
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REVISIONS			
No	Date	Description	By
N	25.01.24	SECONDARY CONSENT APPLICATION	CP

PROJECT TITLE
PROPOSED MIXED USE DEVELOPMENT
28 - 32 ALBERT ROAD, SOUTH MELBOURNE

DRAWING TITLE
SECTION DD

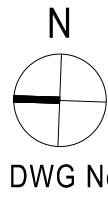
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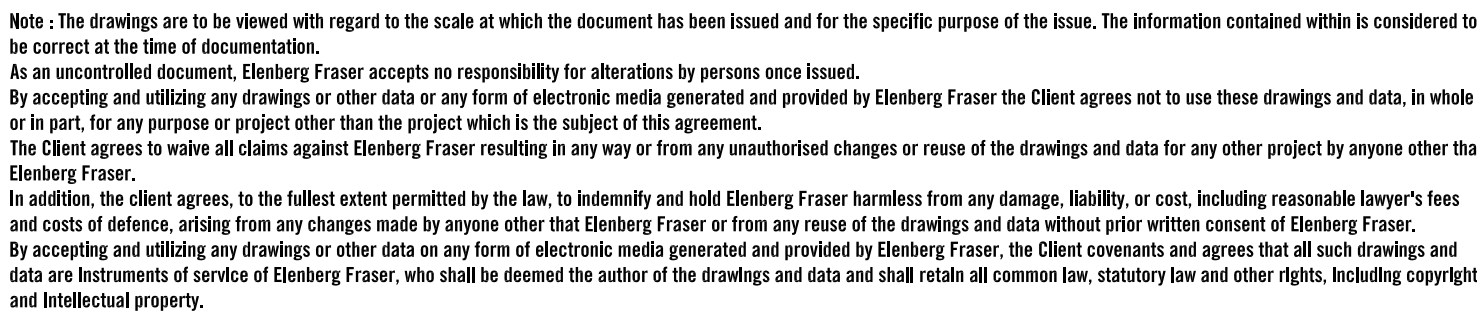
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10. NEW SHEET ADDED TO PROVIDE CLARIFICATION ON VERTICAL LOUVRES ON BALCONIES FOR APARTMENTS A1 AND A3 ON LEVELS 10 AND 11 (INCLUSIVE) TO MINIMISE DIRECT VIEWS TO ADJOINING SITE.