

**City of Port Phillip
Advertised Plan 2 of 34**

EMBEMENT LEGEND

E1-E10 GAS TELEPHONE AND TELECOM PROVISIONS
 E2 POWERLINE
 E3-E4 E5 WAY AND DRIVEWAY
 E6 SEWERAGE
 E7 FOOTWAY
 E8 THE RIGHT TO USE A TOILET
 E9
 E10

REFER MCGRAW HILL SURVEYING TITLE COMPILATION PLAN

TRAFFIC

PLEASE REFER TO TRAFFIC ENGINEERING ASSOCIATED REPORT PREPARED BY TRAFFIC GROUP

NOTE: ALL CAR PARKS TO BE ALLOCATED TO APPOINTMENT WITH A MINIMUM OF TWO CAR SPACES PER DWELLING, HOOD LINE, MIRROR LOCATION ETC TO TRAFFIC ENGINEERING SPECIFICATION.

ESD

PLEASE REFER TO SUSTAINABILITY MANAGEMENT PLAN LIBRARY PREPARED BY GRV

LIGHTING - ALL COMMON AREA, EXTERNAL AND CARPARK LIGHTING IS TO BE CONTROLLED WITH DAYLIGHT, MOTION SENSORS OR TIMERS

RESIDENTIAL LIGHTING - THE MAXIMUM ILLUMINATION POWER DENSITY (WATT PER SQ METRE) SHALL BE LOWER THAN IEC 2019 REQUIREMENTS

NON RESIDENTIAL LIGHTING - THE MAXIMUM ILLUMINATION POWER DENSITY (WATT PER SQ METRE) SHALL MEET THE REQUIREMENTS OF TABLE 6.4 OF THE IEC 2019 SECTION 7

WATER SYSTEM - INVERTER SPLIT SYSTEMS ARE TO BE INSTALLED AND SEED

HOT WATER SYSTEM - THE DEVELOPMENT IS TO UTILISE A CENTRALISED GAS/HOT WATER SYSTEM

CO2 SENSORS - CARPARK VENTILATION FANS ARE TO BE OPERATED BY A SENSITOR CONNECTED TO CO2 SENSORS WITHIN THE CARPARK

RAINWATER IS TO BE COLLECTED FROM ROOF AND DIRECTED INTO THE SW UTE DRAINAGE TRAIL. ALL RESIDENTIAL UNITS ARE TO BE CONNECTED TO THE RAINWATER TRAIL

RAINWATER IS TO BE COLLECTED FROM PLANT AREA, ROOF TERRACES AND LEVEL 4 BALCONIES INTO A 140L RAINGARDEN

ALL INTERNALLY APPLIED PAINTS, ADHESIVES AND SEALANTS ARE TO HAVE A LOW OR ULTRA LOW VOC CONTENT IN LINE WITH GREEN STAR DESIGN & AS-BUILT V3 (CREDIT 1)

ALL INTERNALLY APPLIED CARPETS ARE TO HAVE A LOW VOC CONTENT IN LINE WITH GREEN STAR DESIGN & AS-BUILT V3 (CREDIT 1)

ALL INTERNALLY APPLIED ENGINEERED WOOD PRODUCTS ARE TO HAVE LOW FORMALDEHYDE LEVELS IN LINE WITH GREEN STAR DESIGN & AS-BUILT V3 (CREDIT 1)

ALL BALCONIES OR PATIOS TO BE PROVIDED WITH A TAP AND FLOOR WASTE

APPROVED SCHEME

— ENCLOSED BUILDING DEVELOPMENT OF APPROVED SCHEME SHOWN DASHED

Submitter's CONTRACTOR shall verify all dimensions shown on these construction documents prior to commencing any construction work. Any discrepancies are to be noted and reported to the Council prior to commencing any work. All dimensions shall be verified prior to construction. Council shall not be responsible for any errors or omissions on these construction documents. © Carr Architects 2020. All rights reserved. 110/100 Beach Street, Melbourne VIC 3000 Australia. 03 9594 1234

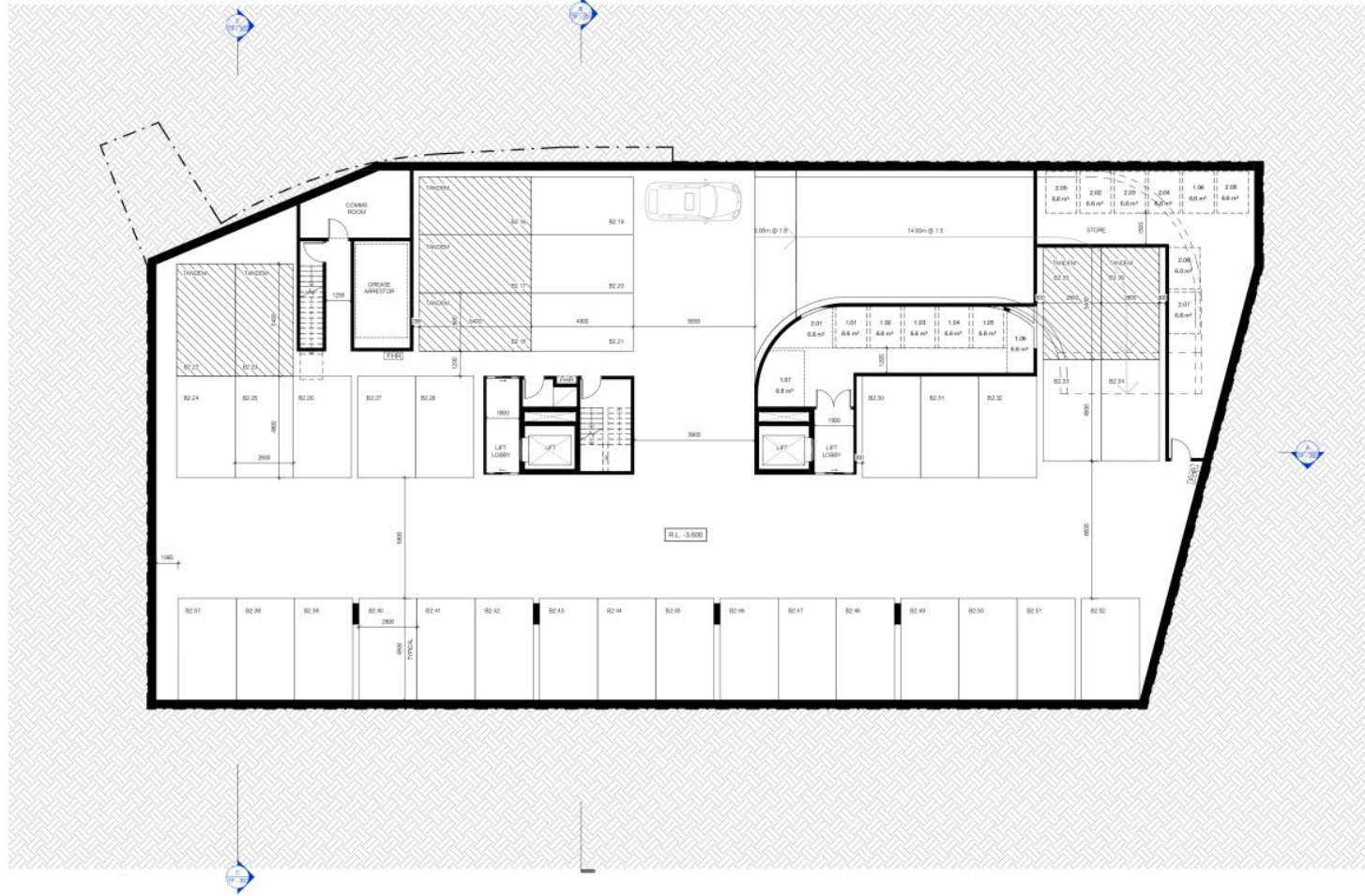
Rev	Date	Issue
1	11/05/2022	COUNCIL PER ISSUE

TOWN PLANNING

Project	103 BEACH STREET PORT MELBOURNE	Project No	21011
Location	LURCON		
Title	PROPOSED SITE PLAN		
Scale	1:200	Dep File	TP - 101
Drawn By	LD/BC	Date	20/05/2022
Rev	1		

Level 1
 11/05/2022
 Carr Architects
 110/100 Beach Street
 Melbourne VIC
 3000 Australia
 03 9594 1234
 info@carrarchitects.com.au

City of Port Phillip
Advertised Plan 3 of 34



CAR PARK SCHEDULE	
BASEMENT 2	36
BASEMENT 1	15
TOTAL	51

EXTERNAL STORAGE SCHEDULE	
APT	AREA
BASEMENT 2	
1.01	0 m ²
1.02	7 m ²
1.03	7 m ²
1.04	7 m ²
1.05	7 m ²
1.06	7 m ²
1.07	7 m ²
1.08	7 m ²
2.01	7 m ²
2.02	7 m ²
2.03	7 m ²
2.04	7 m ²
2.05	7 m ²
2.06	6 m ²
2.07	7 m ²
2.08	7 m ²
BASEMENT 1	
3.01	26 m ²
3.02	10 m ²
3.03	10 m ²
3.04	10 m ²
4.01	10 m ²
4.02	10 m ²
	100 m ²

TIMTIC
PLEASE REFER TO TRAFFIC ENGINEERING
ASSESSMENT REPORT PREPARED BY TIMTIC
ENGINEERS

NOTE: ALL CARPARKS TO BE ALLOCATED TO
APARTMENTS WITH A MINIMUM OF TWO CARPARKS
PER DWELLING INCLUDING MOTORCYCLE/BIKE
TO TRAFFIC ENGINEERS SPECIFICATION.

Submitter's CONTRACTOR shall verify all
dimensions shown on these construction
drawings prior to any construction. If any
discrepancies are identified, the contractor
shall advise the submitter immediately.
The submitter shall be responsible for
ensuring that the construction is in
accordance with the approved plans.
The submitter shall not commence work
until the approved plans are received.
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10 Carr Avenue Adelaide SA 5000

Rev	Date	Issue

TOWN PLANNING

Project: 103 BEACH STREET PORT MELBOURNE Project No: 21001

LUXICON

Title: BASEMENT PLAN/2

Scale: @A1 As Indicated

Drawn By: L/D/BC

Date: 20/09/2021

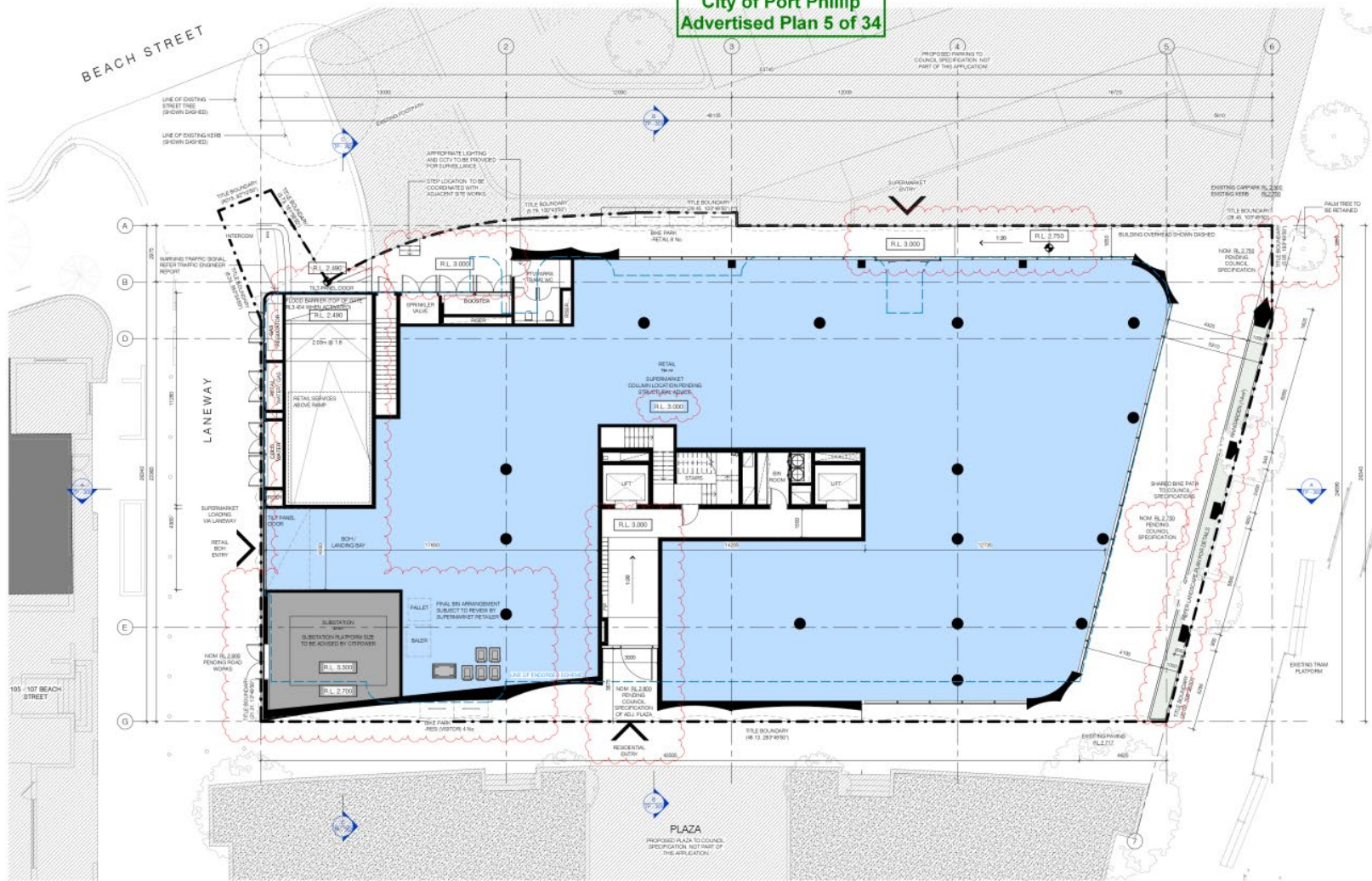
Rev: TP - 140

Level: 103 Beach Street
Melbourne VIC
3000 Australia

P.O. Box 18390
Canton Road East
Melbourne VIC
3003 Australia

+61 3 9466 2300
info@luxicon.com.au
luxicon.com.au

City of Port Phillip
Advertised Plan 5 of 34



AREA SCHEDULE - GROUND FLOOR

AREA TYPE	AREA
RETAIL	794 m ²
ELEVATION	42 m ²
	837 m ²

PERMITS LEGEND

- B-1 B-5 BASIC TELEPHONE AND TELECOMMUNICATIONS
- B-2 B-6 POWER AND
- B-3 B-4 B-6 WAY AND CHANGING WAY AND CHANGING
- B-7 B-8 SEWERAGE
- B-9 B-10 THE RIGHT TO USE A TOILET

REFER HANDBOOK SURVEYING TITLE COMPLIANCE PLAN

TRAFFIC

PLEASE REFER TO TRAFFIC ENGINEERING ASSOCIATION REPORT PREPARED BY TRAFFIC GROUP

ESD

PLEASE REFER TO SUSTAINABILITY MANAGEMENT PLAN AS PERMITTED BY DSR

RESIDENTIAL LIGHTING: THE MAXIMUM ILLUMINATION POWER DENSITY SHALL BE AT LEAST 20% LOWER THAN THE 2019 REQUIREMENTS

NON-RESIDENTIAL LIGHTING: THE MAXIMUM ILLUMINATION POWER DENSITY SHALL MEET THE REQUIREMENTS OF TABLE 2.1.1 OF THE 2019 SECTION 3

HVAC SYSTEM - INVERTER DRIFT SYSTEMS ARE TO BE INSTALLED AND SIZED

HOT WATER SYSTEM - THE DEVELOPER IS TO UTILISE A CENTRALISED GAS-HOT WATER SYSTEM

CO SENSORS - CARPARK VENTILATION FANS ARE TO BE CONTROLLED BY CO SENSORS CONNECTED TO CO SENSORS WITHIN THE CARPARK

RAINWATER IS TO BE COLLECTED FROM ROOF AND DIRECTED INTO THE SWALE THROUGH A GULLY

ALL INTERNALLY APPLIED PAINTS, ADHESIVES AND SEALANTS ARE TO HAVE A LOW OR ULTRA-LOW VOC CONTENT IN LINE WITH GREEN STAR DESIGN A R4 RATED V1.3 CREDIT 10.1

ALL INTERNALLY APPLIED CARPETS ARE TO HAVE A LOW VOC CONTENT IN LINE WITH GREEN STAR DESIGN A R4 RATED V1.3 CREDIT 11.2

ALL BALCONY DRIP PIPS TO BE PROVIDED WITH A TAP AND FLOOR WASTE

LANDSCAPE

REFER TO LANDSCAPE PLANS PREPARED BY ACIE

REFER TO LANDSCAPE PLANS FOR EXTERNAL SURFACE FINISHES

APPROVED SCHEME

ENCLOSED BUILDINGS ENVELOPE OF APPROVED SCHEME SHOWN DOTTED

Submit 3 construction sets with all annotations to the City of Port Phillip. Annotations cover all structural, spatial, drainage and landscape elements. All annotations are to be made in red. The approved construction set is to be submitted to the Council for approval. All construction is to be in accordance with the approved construction set. All construction is to be in accordance with the approved construction set. All construction is to be in accordance with the approved construction set.

Rev	Date	Code	Issue
1	11/03/2022	COUNCIL PER ISSUE	

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21011

LUXICON

Title: GROUND FLOOR PLAN

Scale: 1:100

Drawn By: L/D/BC

Date: 29/09/2021

Rev: 1

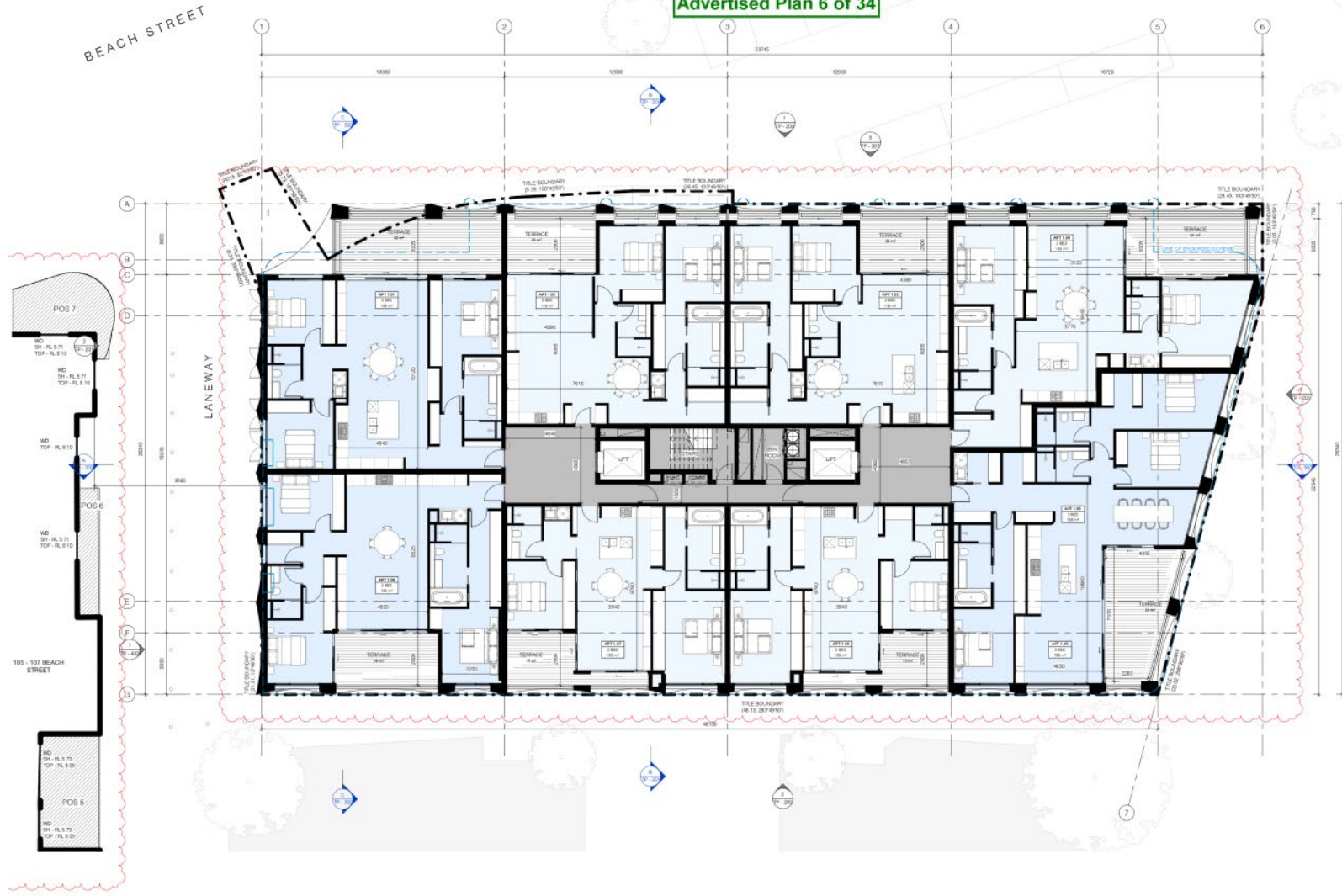
Level: 11 Beach Lane, Melbourne VIC 3008 Australia

P.O. Box 18390, Carlton Street East, Melbourne VIC 3003 Australia

+61 3 9466 2200

info@luxicon.com.au

City of Port Phillip
Advertised Plan 6 of 34



AREA SCHEDULE - LEVEL 01	
AREA TYPE	AREA
1.01	NSA TERRACE
	138 m ²
	32 m ²
1.02	NSA TERRACE
	118 m ²
	20 m ²
1.03	NSA TERRACE
	118 m ²
	20 m ²
1.04	NSA TERRACE
	133 m ²
	31 m ²
1.05	NSA TERRACE
	168 m ²
	24 m ²
1.06	NSA TERRACE
	102 m ²
	15 m ²
1.07	NSA TERRACE
	102 m ²
	15 m ²
1.08	NSA TERRACE
	136 m ²
	18 m ²
	136 m ²

GENERAL NOTES

ALL BALCONIES AND POS ARE TO BE PROVIDED WITH OUTDOOR FURNITURE AND RUBBER MATS.

REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY LAW FOR DETAILED GLAZING REQUIREMENTS.

APPROVED SCHEME

--- EXISTING BUILDING ENVELOPE OF APPROVED SCHEME SHOWN DASHED

Submit 3 CONTRACTS and verify all construction details with Council Engineers prior to commencing construction. Any discrepancies are to be resolved prior to the start of construction on site. All work must be completed prior to the start of construction on site. All work must be completed prior to the start of construction on site.

Rev	Date	Chg	Issue
1	11/02/2022		COUNCIL PM ISSUE

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21001

LUXCON

Title: LEVEL 1 PLAN

Scale @A1: 1:100

Drawn By: LJC/BC

Date: 20/09/2022

Rev: 1

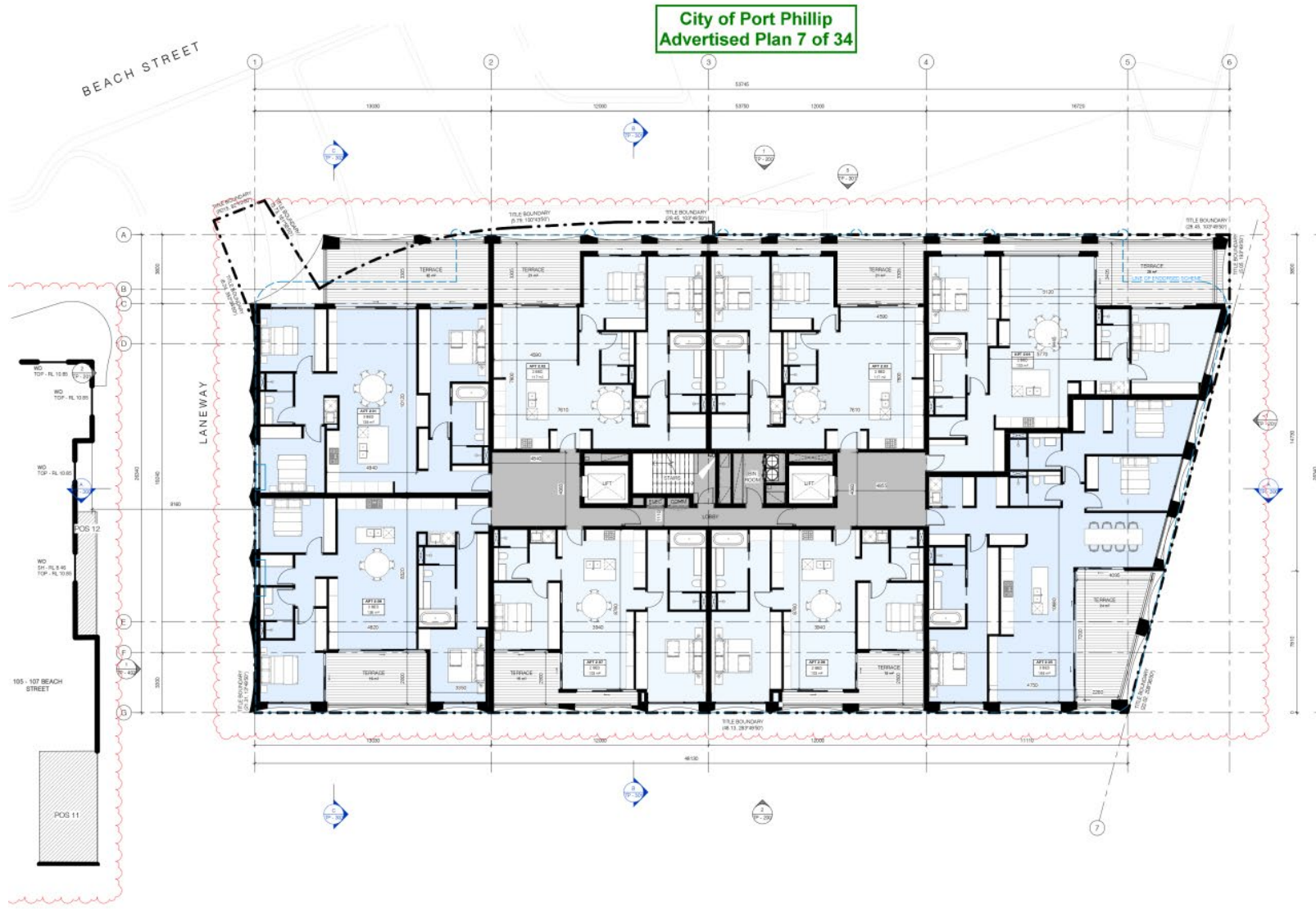
Dep File: TP - 102

carr

Level 1
111 Rialto Lane
Melbourne VIC
3006 Australia

P.O. Box 6390
Canton Street East
Melbourne VIC
3003 Australia

Mobile: 0438 2280
Email: info@carr.net.au



City of Port Phillip
Advertised Plan 7 of 34

AREA SCHEDULE - LEVEL 02	
AREA TYPE	AREA
2.01	NSA
TERRACE	138 m ²
2.02	NSA
TERRACE	21 m ²
2.03	NSA
TERRACE	117 m ²
2.04	NSA
TERRACE	117 m ²
2.05	NSA
TERRACE	133 m ²
2.06	NSA
TERRACE	28 m ²
2.07	NSA
TERRACE	168 m ²
2.08	NSA
TERRACE	24 m ²
2.09	NSA
TERRACE	102 m ²
2.10	NSA
TERRACE	15 m ²
2.11	NSA
TERRACE	102 m ²
2.12	NSA
TERRACE	15 m ²
2.13	NSA
TERRACE	136 m ²
2.14	NSA
TERRACE	18 m ²
2.15	NSA
TERRACE	135 m ²

GENERAL NOTES:
ALL BALCONIES AND POS ARE TO BE PROVIDED WITH OUTDOOR FURNITURE AND WASTE RECEPTACLES.
REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY LAW FOR DETAILED GLAZING REQUIREMENTS.

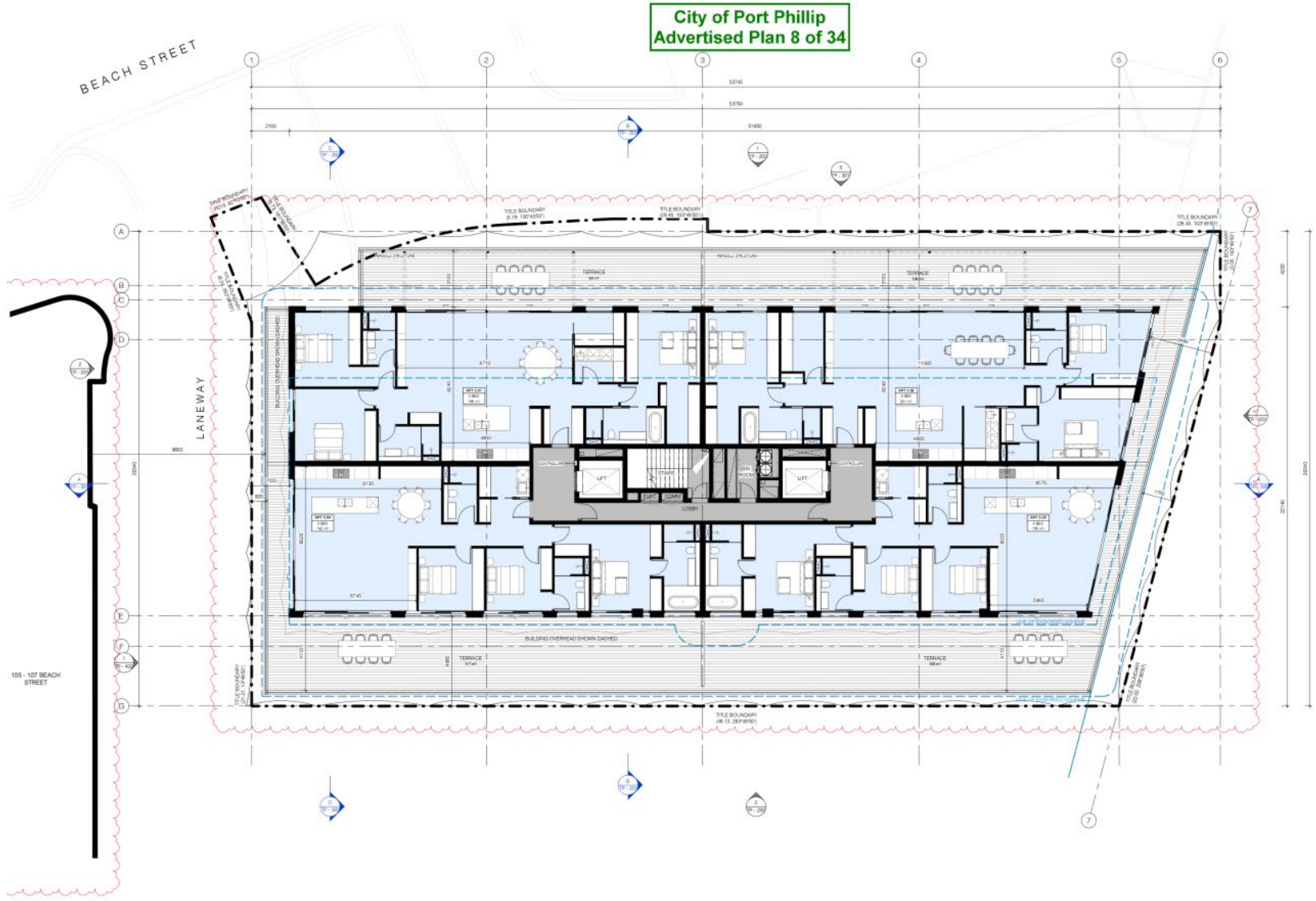
APPROVED SCHEME:
--- EXISTING BUILDING ENVELOPE OF APPROVED SCHEME SHOWN DASHED

Submitter's CONTRACTOR shall verify all dimensions and levels on-site. Construction shall be in accordance with the Council's approval. Any discrepancies shall be notified to the Council immediately. Construction shall not commence prior to the receipt of a building permit. © Carr Architects 4881 47 538 252 255 47 Carr Architects 4881 47 538 252 255

Rev	Date	Issue
1	11/02/2022	COUNCIL PM ISSUE

TOWN PLANNING
Project: 105 BEACH STREET PORT MELBOURNE Project No: 21011
LURCON
Title: LEVEL 2 PLAN
Scale: @A1 1:100
Drawn By: L.G./B.C.
Date: 29/09/2021
Rev: 1

carr
Level 1
111 Rye Lane
Melbourne VIC
3006 Australia
P.O. Box 18390
Canton Street East
Melbourne VIC
3003 Australia
t: 03 9486 2280
info@carr.net.au
car@melb.carr.net.au



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Advertised Plan 8 of 34

AREA SCHEDULE - LEVEL 03	
AREA TYPE	AREA
3.01 NSA TERRACE	188 m ² 75 m ²
3.02 NSA TERRACE	201 m ² 106 m ²
3.03 NSA TERRACE	158 m ² 108 m ²
3.04 NSA TERRACE	182 m ² 117 m ² 114 m ²

GENERAL NOTES:
 ALL BALCONIES AND POB ARE TO BE PROVIDED WITH OUTDOOR FANS AND FLUSH WASTES.
 REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY GW FOR DETAILED GLAZING REQUIREMENTS.

APPROVED SCHEME:
 - SOLID BUILDING FOOTPRINT OF APPROVED SCHEME SHOWN DASHED

Builder's CONTRACTOR shall verify all dimensions before any work commencing. Dimensions shown are nominal. Typical tolerances shall be as per the Australian Standard AS/NZS 4600. Any discrepancies are to be noted on the drawings. All dimensions are to be taken from the finished face unless otherwise stated. All dimensions shall be taken from the finished face unless otherwise stated. All dimensions shall be taken from the finished face unless otherwise stated. All dimensions shall be taken from the finished face unless otherwise stated.

Rev	Date	Chg	Issue
1	11/03/2022		COUNCIL PM ISSUE

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21001

Location: LUXICON

Title: LEVEL 03 PLAN

Scale @A1: 1:100

Drawn By: LJC/BC

Date: 20/09/2022

Rev: 1

Dep File: TP - 104

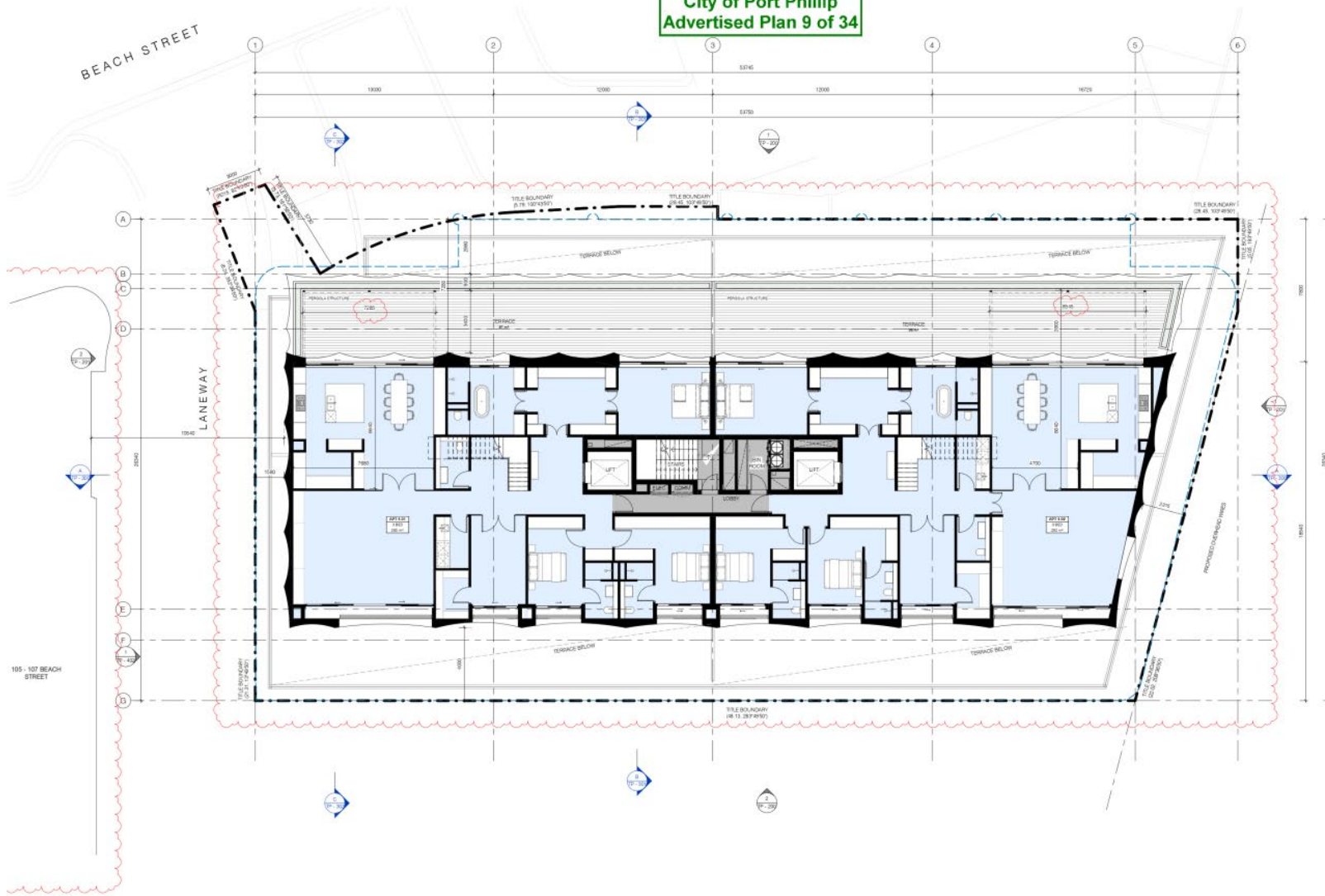
carr

Level 3
 111 Rialto Lane
 Melbourne VIC
 3006 Australia

P.O. Box 6390
 Carlton Street East
 Melbourne VIC
 3003 Australia

+61 3 9486 2280
 mel@carr.net.au
 carr.net.au

City of Port Phillip
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AREA SCHEDULE - LEVEL 04	
AREA TYPE	AREA
4.01	
NSA	280 m ²
TERRACE	87 m ²
4.02	
NSA	292 m ²
TERRACE	96 m ²
	761 m ²

GENERAL NOTES:
ALL BALCONIES AND ROOFS ARE TO BE PROVIDED WITH OUTDOOR UPS AND FLOOR WASTE.
REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY SRV FOR DETAILED GLAZING REQUIREMENTS.

APPROVED SCHEME:
— ENCLOSED BUILDING ENVELOPE OF APPROVED SCHEME SHOWN DASHED

Submitter's CONTRACTOR shall verify all dimensions and levels on site. Construction Dimensions shown are nominal. Typical dimensions shall be provided in construction documents. Any discrepancies are to be made known to the Architect/Engineer prior to construction. All site drawings shall be submitted for review and approval by the Council prior to construction. © Carr Architects 4881 47 538 252 255 47 Carr Architects 4881 47 538 252 255

Rev	Date	Desc	Issue
1	11/03/2022	COUNCIL PM ISSUE	

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21051

Location:

Title: LEVEL 4 PLAN

Scale @A1: 1:100

Drawn By: LJC/BC

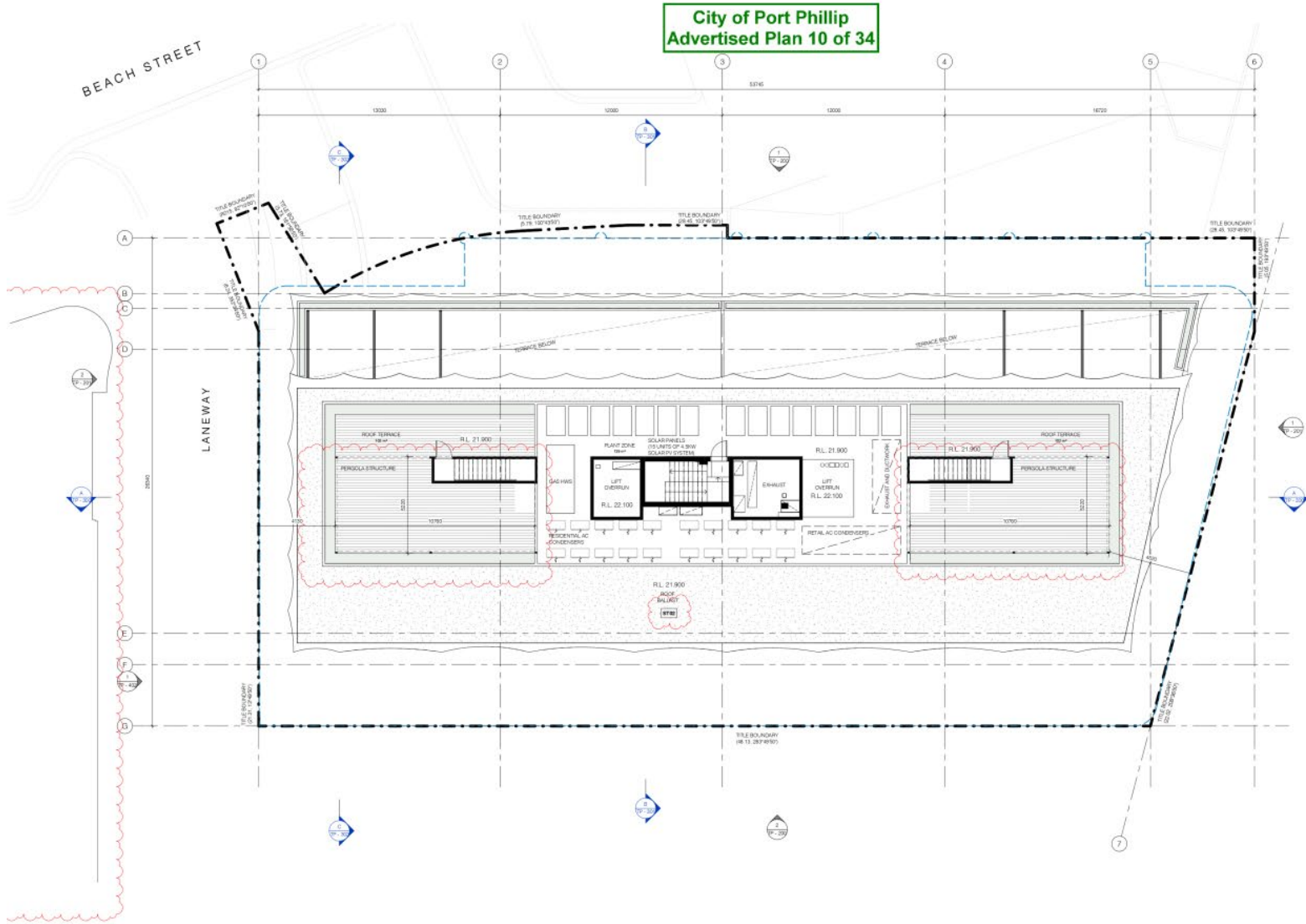
Date: 29/09/2022

Rev: 1

Dep File: TP - 100

Level 4
105 Beach Street
Melbourne VIC
3006 Australia
P O Box 6390
Canton Street East
Melbourne VIC
3003 Australia
+61 3 9486 2280
info@carr.net.au
car@net.au





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Advertised Plan 10 of 34

- PROPOSED MATERIALS LEGEND**
- ST01 STONE GLAZING - LIGHT COLOURED STONE (WALL / COLUMN)
 - ST02 STONE - LIGHT COLOURED STONE (ROOF BALUSTE)
 - CON1 CONCRETE TEXTURE FINISH - LIGHT COLOURED
 - MT1 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (DOOR / SERVICE CURB/GARAGE)
 - MT2 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (PERGOLA / BALUSTRADES)
 - MT3 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (ROOF/FLOOR)
 - MT4 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (ROOF/FLOOR)
 - TM1 RECYCLED TIMBER - GREY TIMBER BATTENS (ROOF/FLOOR)
 - TM2 RECYCLED TIMBER - GREY TIMBER BATTENS (GROUND/FLOOR LEVEL 1 AND LEVEL 2 SLOTTED)
 - GL1 GLAZING - CLEAR GLASS (WINDOWS / BALUSTRADES / SLOUGHTS)
 - GL2 GLAZING - PROTECTED GLASS (WINDOWS / SLOUGHTS)
 - FR1 FABRIC - RETRACTABLE CANVAS SHADE (SAL LEVEL 1, LEVEL 1 AND ROOFTOP TERRACE)
- GENERAL NOTES**
- ALL BALUSTRADES AND ROSE ARE TO BE PROVIDED WITH OUTDOOR SIPS AND FLOOR WASTES
 - REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY GW FOR DETAILED GLAZING REQUIREMENTS
- APPROVED SCHEME**
- ENCLOSED BUILDING ENVELOPE OF APPROVED SCHEME (SOLID DASHED)

Submitter's Contractors shall verify all dimensions to be used on-site. Contractors shall verify all dimensions shown on technical drawing. Contractors shall verify all dimensions shown on technical drawing. Any discrepancies shall be noted on-site. The contractor shall be responsible for any discrepancies. The contractor shall be responsible for any discrepancies. The contractor shall be responsible for any discrepancies.

Rev	Date	Code	Issue
1	11/03/2022	COUNCIL PM ISSUE	

TOWN PLANNING

Project: 103 BEACH STREET PORT MELBOURNE Project No: 21011

LURCON

Title: RDPG PLAN

Scale @A1: 1:100

Drawn By: LJC/BC



Date: 20/09/2022

Rev: 1

Dep File: TP - 100

carr

Level 1
21 Flinders Lane
Melbourne VIC
3005 Australia
P.O. Box 6390
Canton Precinct East
Melbourne VIC
3003 Australia
+61 3 9486 2200
mel@carr.net.au
carr.net.au



Submitter: CONTRACTOR shall verify all dimensions and levels on site. All dimensions shown are nominal. Typical dimensions and levels are indicated on the drawings. Any discrepancies are to be noted on site. The contractor shall be responsible for all dimensions on site. All dimensions shall be verified prior to construction. The contractor shall be responsible for all dimensions on site. All dimensions shall be verified prior to construction. The contractor shall be responsible for all dimensions on site. All dimensions shall be verified prior to construction.

Rev	Date	Code	Issue
1	11/03/2022	COUNCIL PM ISSUE	

TOWN PLANNING	
Project	103 BEACH STREET PORT MELBOURNE
Project No	21001
LURCON	
Title	ELEVATIONS - SHEET 1
Scale (all)	1:100
Drawn By	LD/BC
Date	20/09/2022
Rev	1

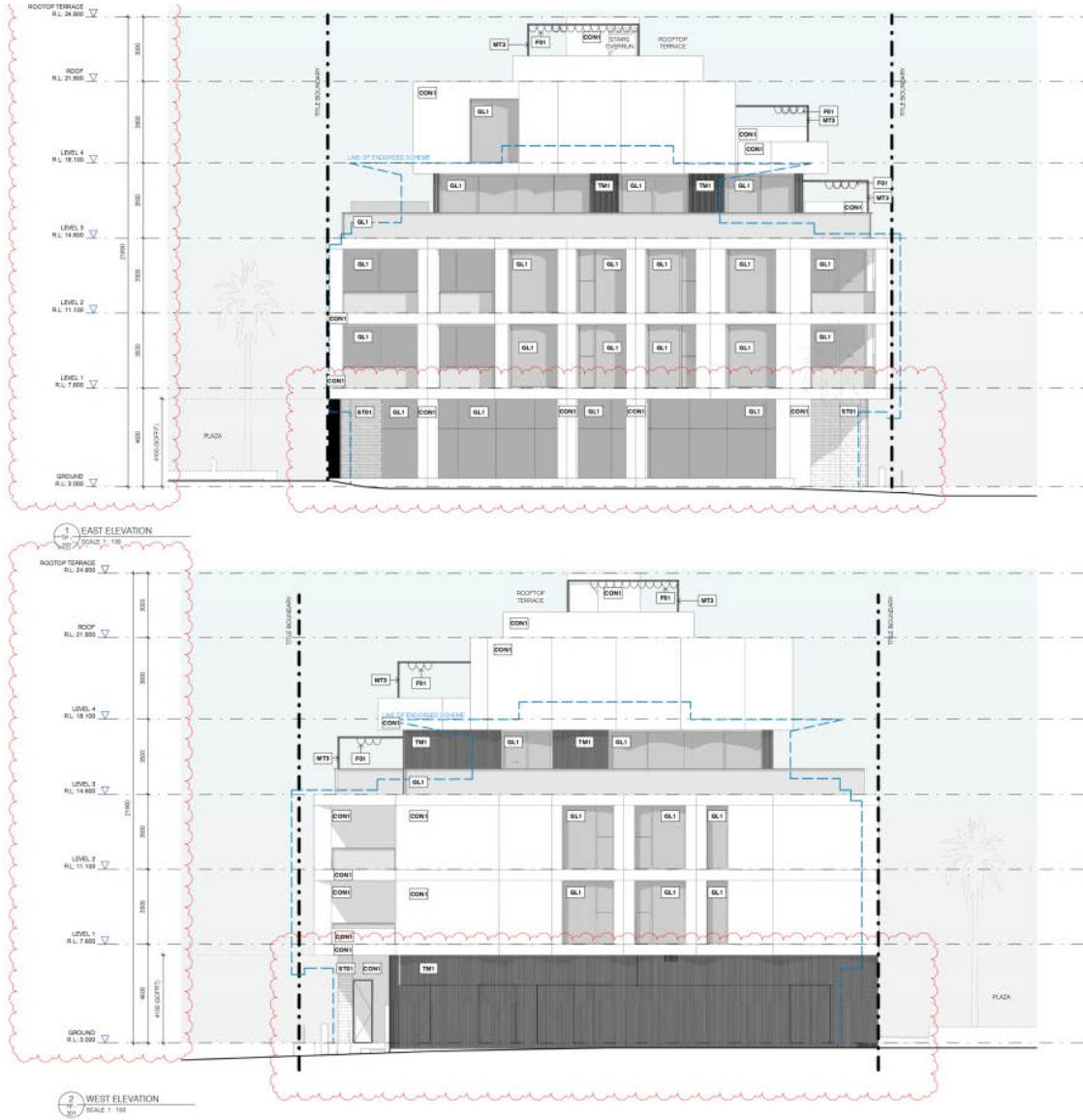
carr

Level 5
 211 Flinders Lane
 Melbourne VIC
 3000 Australia

P.O. Box 6390
 Collins Street East
 Melbourne VIC
 3003 Australia

+61 3 9486 2200
 info@carr.net.au
 carr.net.au

City of Port Phillip
Advertised Plan 12 of 34



PROPOSED MATERIALS LEGEND

- ST01 STONE GLAZING - LIGHT COLOURED STONE (WALL / COLUMN)
- ST02 STONE - LIGHT COLOURED STONE (WALL / COLUMN)
- CON1 CONCRETE TEXTURE FINISH - LIGHT COLOURED (DOOR / SERVICE CURB/GAS)
- MT1 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (DOOR / SERVICE CURB/GAS)
- MT2 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (PERGOLA / BALUSTRADES)
- MT3 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (WINDOOF FINISH)
- MT4 METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (WINDOOF FINISH)
- TM1 RECYCLED TIMBER - GREY TIMBER BATTENS (OPPOARD FLOOR)
- TM2 RECYCLED TIMBER - GREY TIMBER BATTENS (GROUND FLOOR LEVEL 1 AND LEVEL 2 SLOTTED)
- GL1 GLAZING - CLEAR GLASS (WINDOWS / BALUSTRADES / SLOTTED)
- GL2 GLAZING - PROTECTED GLASS (WINDOWS / SLOTTED)
- FR1 FABRIC - RETRACTABLE CANVAS SHADE (SAL LEVEL 3, LEVEL 4 AND ROOFTOP TERRACE)

GENERAL NOTES

- ALL BALCONIES AND POLES ARE TO BE PROVIDED WITH OUTDOOR SIPS AND FLOOR WASTES
- REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY GW FOR DETAILED GLAZING REQUIREMENTS

APPROVED SCHEME

- SOLID LINE BUILDING ENVELOPE OF APPROVED SCHEME (H-CONV DASH)

Submitter's CONTRACTOR shall verify all dimensions shown on these construction documents cover any structural / spatial dimensions and the structural engineer's approval. Any discrepancies are to be made known to the CONTRACTOR and the CONTRACTOR shall verify with the manufacturer of the product prior to construction. All dimensions shall be in millimetres unless otherwise stated. All dimensions shall be to the face of the work unless otherwise stated. All dimensions shall be to the face of the work unless otherwise stated. All dimensions shall be to the face of the work unless otherwise stated.

Rev	Date	Code	Issue
1	11/03/2022		COUNCIL PM ISSUE

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03 9499 1234

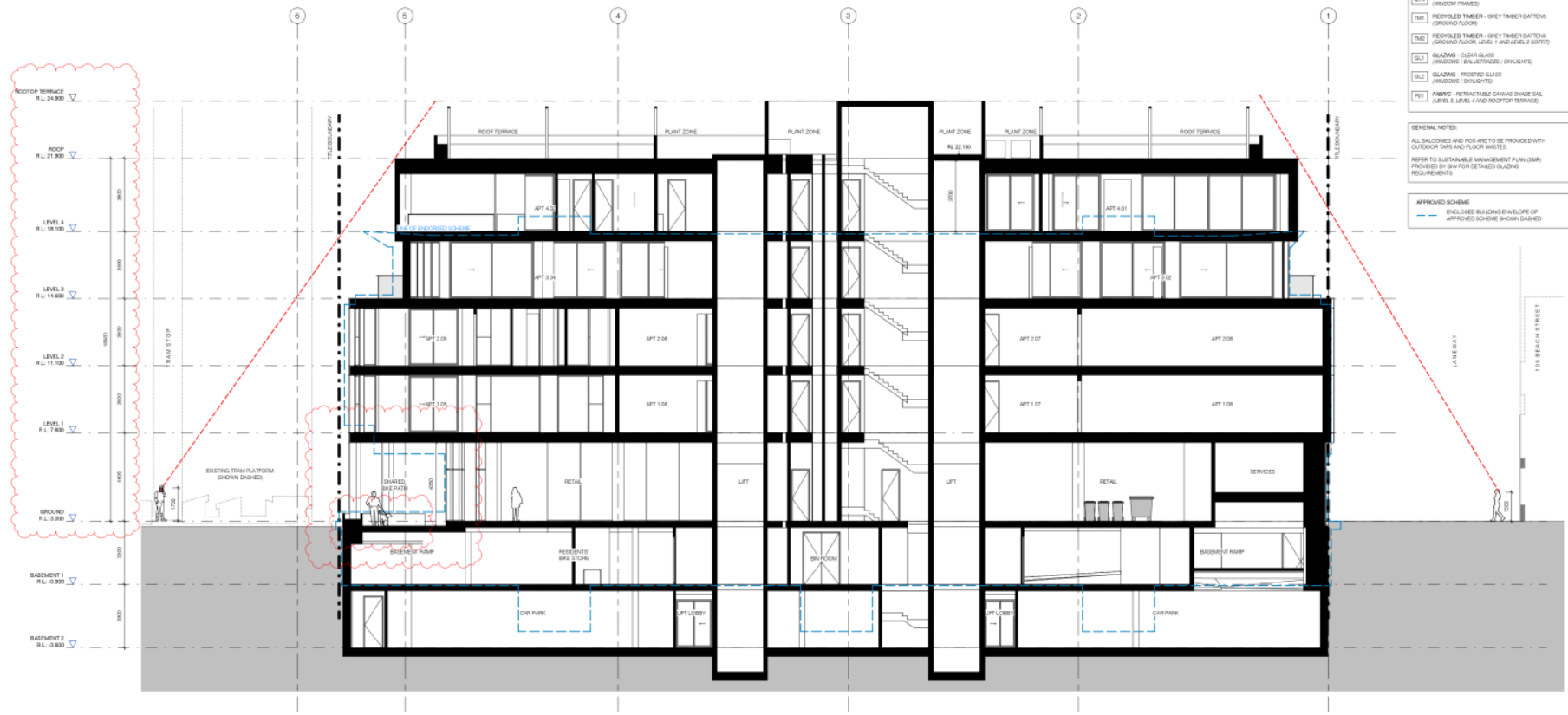
TOWN PLANNING

Project	103 BEACH STREET PORT MELBOURNE	Project No	21001
Location	LURCON		
Title	ELEVATIONS - SHEET 2		
Scale @A1	1:100	Dep File	TP - 201
Drawn By	LJ:BC	Date	20/09/2022
Rev	1		

carr

Level 11
211 Rye Lane
Melbourne VIC
3005 Australia
P.O. Box 6390
Canton West End
Melbourne VIC
3003 Australia
+61 3 9499 2200
info@carr.net.au
carr.net.au

City of Port Phillip
Advertised Plan 13 of 34



- PROPOSED MATERIALS LEGEND**
- [ST01] STONE GLAZING - LIGHT COLOURED STONE (WALL / COLIARV)
 - [ST02] STONE - LIGHT COLOURED STONE (ROOF BALUSTE)
 - [CON1] CONCRETE TEXTURE FINISH - LIGHT COLOURED (WALL / COLIARV)
 - [MT1] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (DOOR / SERVICE CURBWAIS)
 - [MT2] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (PERGOLA / BALUSTRADES)
 - [MT3] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (WINDOW FRAMES)
 - [MT4] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (WINDOW FRAMES)
 - [TM1] RECYCLED TIMBER - GREY TIMBER BATTENS (GROUND FLOOR)
 - [TM2] RECYCLED TIMBER - GREY TIMBER BATTENS (GROUND FLOOR LEVEL 1 AND LEVEL 2 GORFF)
 - [GL1] GLAZING - CLEAR GLASS (WINDOWS / BALUSTRADES / SLOUGHTS)
 - [GL2] GLAZING - PROTECTED GLASS (WINDOWS / SLOUGHTS)
 - [PV1] FABRIC - RETRACTABLE CANVAS SHADE (GAL LEVEL 3, LEVEL 4 AND ROOFTOP TERRACE)
- GENERAL NOTES**
- ALL BALUSTRES AND RGS ARE TO BE PROVIDED WITH OUTDOOR SIPS AND FLOOR WASTES
 - REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY GW FOR DETAILED GLAZING REQUIREMENTS
- APPROVED SCHEME**
- ENCLOSED BUILDING ENVELOPE OF APPROVED SCHEME (SHOWN DASHED)

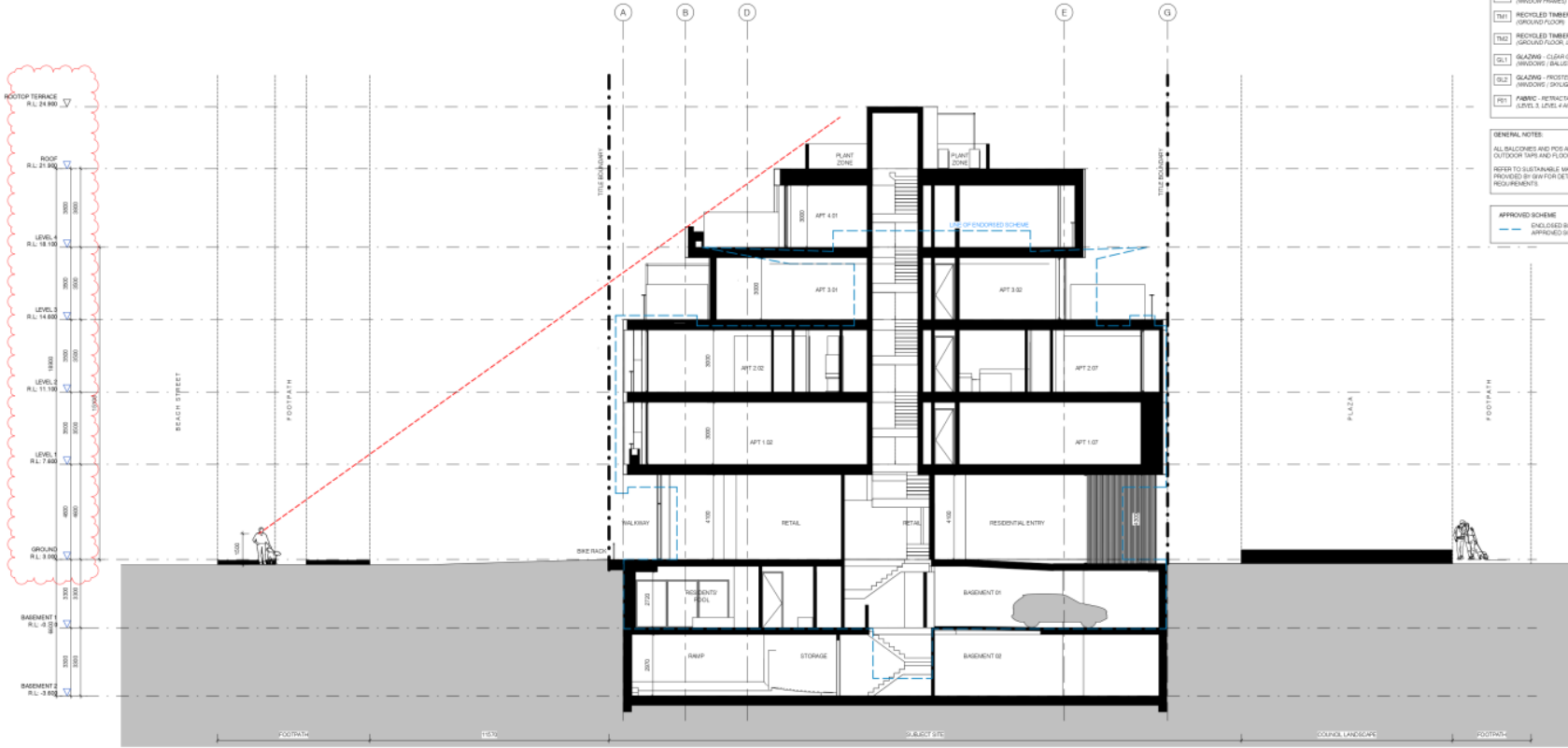
Submitter's Contractors shall verify all dimensions and levels on site. Contractors shall ensure all structural elements are constructed in accordance with the approved plans. Any discrepancies shall be notified to the Council immediately. Council reserves the right to require any manufacturer and not commence prior to the receipt of manufacturer's approval. © Carr Architects Pty Ltd 47 538 202 202 47 Carr Architects - 4444 16 126 212 211

Rev	Date	Chg	Issue
1	11/02/2022		COUNCIL PM ISSUE

TOWN PLANNING	
Project	103 BEACH STREET - FORT MELBOURNE
Project No	21011
Location	
Title	SECTIONS - SHEET 1 (A/A)
Scale @A1	1:100
Drawn By	LC/BC
Date	20/08/2021
Rev	1
Level 4	11 Flinders Lane Melbourne VIC 3006 Australia
P.O. Box 18390 Canton Street East Melbourne VIC 3003 Australia	
+61 3 9466 2380 info@carr.net.au carr.net.au	

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City of Port Phillip
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PROPOSED MATERIALS LEGEND

ST01	STONE GLAZING - LIGHT COLOURED STONE (WALL / COLUMN)
ST02	STONE - LIGHT COLOURED STONE (ROOF/SILLATE)
CO01	CONCRETE TEXTURE FINISH - LIGHT COLOURED (WALL)
MT1	METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (DOOR / SERVICE CURBWAHS)
MT2	METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (PERGOLA / BALUSTRADES)
MT3	METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (PERGOLA / BALUSTRADES)
MT4	METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (WINDOY FINISH)
TR1	RECYCLED TIMBER - GREY TIMBER BATTERS (GROUND FLOOR)
TR2	RECYCLED TIMBER - GREY TIMBER BATTERS (GROUND FLOOR LEVEL 1 AND LEVEL 2 SCOFF)
GL1	GLAZING - CLEAR GLASS (WINDOWS / BALUSTRADES / SLOUGHTS)
GL2	GLAZING - TINTED GLASS (WINDOWS / SLOUGHTS)
FR1	FABRIC - RETRACTABLE CANVAS SHADE (GAL LEVEL 3, LEVEL 4 AND ROOFTOP TERRACE)

GENERAL NOTES

- ALL BALCONIES AND POS ARE TO BE PROVIDED WITH OUTDOOR SIPS AND FLOOR WASTES
- REFER TO SCHEDULE 8 MANAGEMENT PLAN (SMP) PROVIDED BY GW FOR DETAILED GLAZING REQUIREMENTS

APPROVED SCHEME

- ENCLOSED BUILDING ENVELOPE OF APPROVED SCHEME (SHOWN DASHED)

Submitter's Contractors shall verify all dimensions shown on this plan. Dimensions shown are nominal. Typical tolerances shall be in accordance with AS/NZS 4586. Any discrepancies are to be noted on the day of construction. All dimensions are to be confirmed on site. All dimensions shall be confirmed prior to the start of construction. © Carr Architects Pty Ltd 2020. All rights reserved. 14/01/2020

Rev	Date	Chg	Issue
1	11/02/2022		COUNCIL PER ISSUE

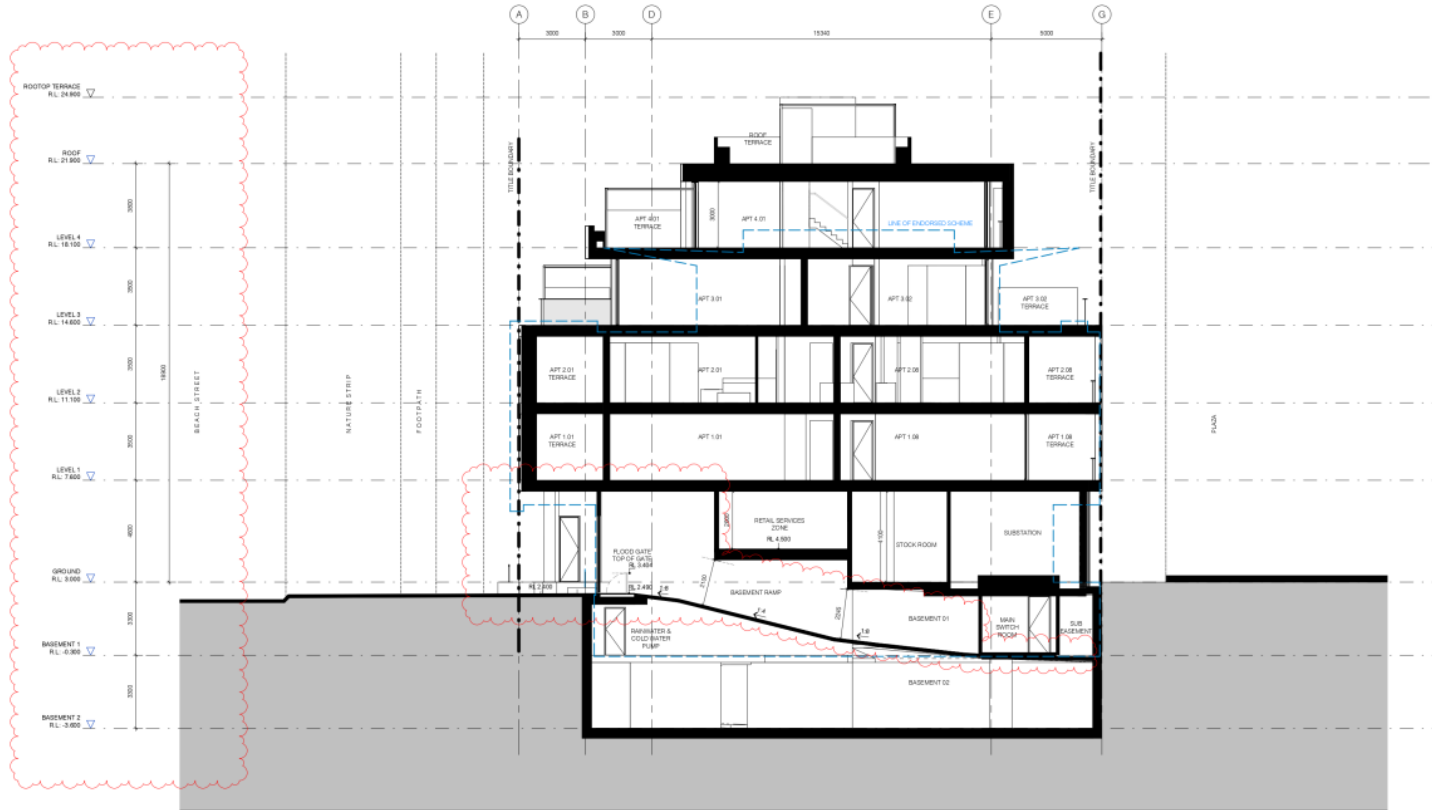
TOWN PLANNING

Project	103 BEACH STREET, FORT MELBOURNE	Project No	21011
Location	LURCON		
Title	SECTIONS - SHEET 2 (B-B)		
Scale	1:100	Dep File	TP - 301
Drawn By	LC/BC	Date	29/08/2021
		Rev	1

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Level 11
311 Flinders Lane
Melbourne VIC
3000 Australia
P.O. Box 18390
Canton Street East
Melbourne VIC
3003 Australia
Tel: 03 9486 2380
info@carr.net.au
car@net.au

City of Port Phillip
Advertised Plan 15 of 34



- PROPOSED MATERIALS LEGEND**
- [ST01] STONE GLAZING - LIGHT COLOURED STONE (WALL / COLUMN)
 - [ST02] STONE - LIGHT COLOURED STONE (ROOF/SILLATE)
 - [CC01] CONCRETE TEXTURE FINISH - LIGHT COLOURED (WALL)
 - [MT 1] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (DOOR / SERVICE CURB/GARDS)
 - [MT 2] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (DOOR / SERVICE CURB/GARDS)
 - [MT 3] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (PERGOLA / BALUSTRADES)
 - [MT 4] METAL FINISH - LIGHT COLOURED POWDERCOAT FINISH (WINDOW FRAMES)
 - [TM 1] RECYCLED TIMBER - GREY TIMBER BATTERS (GROUND FLOOR)
 - [TM 2] RECYCLED TIMBER - GREY TIMBER BATTERS (GROUND FLOOR LEVEL 1 AND LEVEL 2 SCOFF)
 - [GL 1] GLAZING - CLEAR GLASS (WINDOWS / BALUSTRADES / SLOUGHTS)
 - [GL 2] GLAZING - TINTED GLASS (WINDOWS / SLOUGHTS)
 - [FR 1] FABRIC - RETRACTABLE CANVAS SHADE (ALL LEVEL 3, LEVEL 4 AND ROOFTOP TERRACE)
- GENERAL NOTES**
- ALL BALCONIES AND POS ARE TO BE PROVIDED WITH OUTDOOR SIPS AND FLOOR WASTES.
 - REFER TO SUSTAINABLE MANAGEMENT PLAN (SMP) PROVIDED BY GW FOR DETAILED GLAZING REQUIREMENTS.
- APPROVED SCHEME**
- ENCLOSED BUILDING ENVELOPE OF APPROVED SCHEME (SOLID DASHED)
 - - - - - APPROVED SCHEME (DASHED)

Submitter's Contractors shall verify all dimensions and levels with the Council's Surveyors prior to any construction. If any discrepancies are identified, the contractor shall rectify them at their own cost. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved plans and specifications. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved plans and specifications. The contractor shall be responsible for ensuring that all construction is completed in accordance with the approved plans and specifications.

Rev	Date	Chg	Issue
1	11/02/2022		COUNCIL PER ISSUE

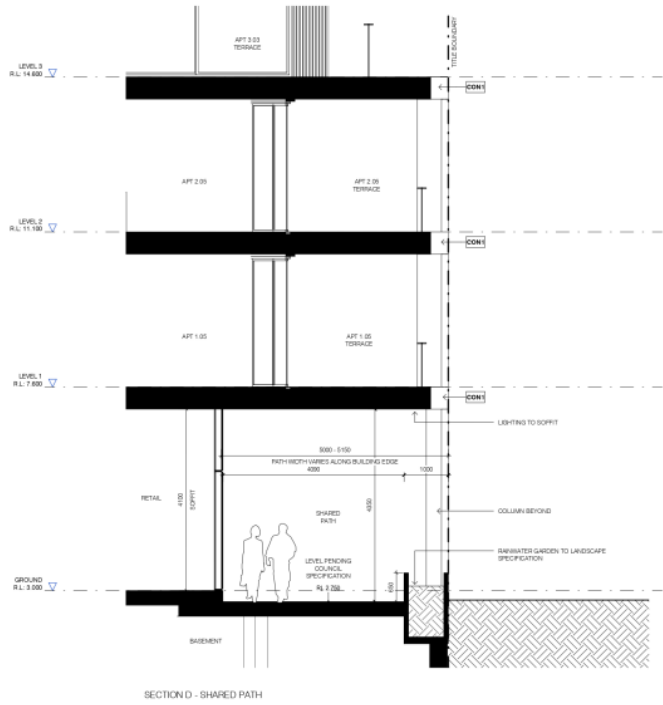
TOWN PLANNING

Project	103 BEACH STREET - FORT MELBOURNE	Project No	21011
Location			
Title	SECTION - SHEET 3 (E-G)	Drawn By	LC/BC
Scale	1:100	Dep File	TP - 302
Date	20/08/2021	Rev	1



Level 1
111 Rialto Lane
Melbourne VIC
3000 Australia
P.O. Box 1830
Canton Street East
Melbourne VIC
3003 Australia
Tel: 03 9486 2300
info@carr.net.au
carr.net.au

City of Port Phillip
Advertised Plan 16 of 34



SECTION D - SHARED PATH



REFERENCE PLAN

Submitter's Contractors shall verify all dimensions before any work commences. Dimensions shown are nominal. Typical tolerances shall be as per the relevant code of practice. Any discrepancies are to be made known to the Council prior to commencement of work. All work shall be completed in accordance with the relevant code of practice. All work shall be completed prior to the start of construction. All work shall be completed in accordance with the relevant code of practice.

Rev	Date	Code	Issue
1	11/02/2022	COUNCIL PER ISSUE	

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47 Carr Avenue - 4891 47 538 252 252

TOWN PLANNING

Project: 103 BEACH STREET, FORT MELBOURNE Project No: 21031

Location: LUXICON

Title: EAST FACADE TRAM INTERFACE

Scale: As Indicated Dep File: TP - 400

Drawn By: JH Date: 11/02/2022 Rev: 1

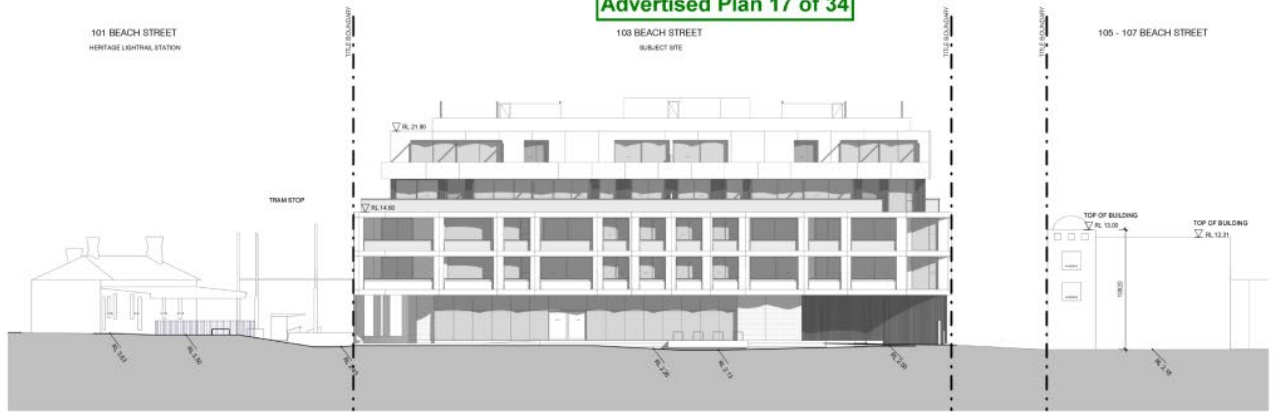


Level 1
111 Collins Lane
Melbourne VIC
3005 Australia

P.O. Box 18390
Collins Street East
Melbourne VIC
3003 Australia

+61 3 9486 2380
info@carr.net.au
carr.net.au

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Advertised Plan 17 of 34



1 NORTH ELEVATION
SCALE 1:200



2 SOUTH ELEVATION
SCALE 1:200

Submitter's CONTRACTOR shall verify all dimensions to be used on-site. Contractors/Developers shall verify all dimensions to be used on-site. Contractors/Developers shall verify all dimensions to be used on-site. Contractors/Developers shall verify all dimensions to be used on-site.

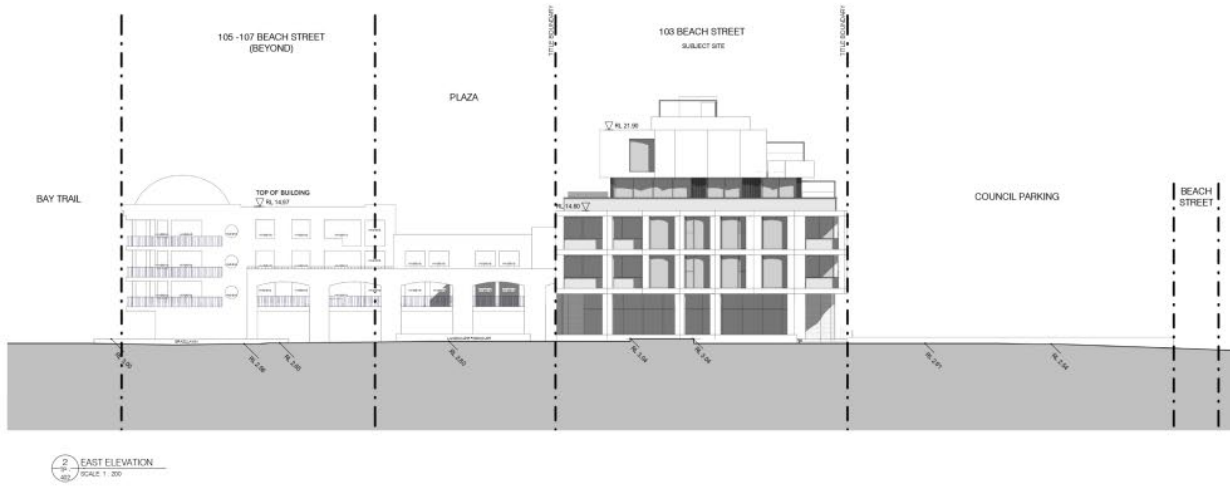
Rev	Date	Chg	Issue
1	11/02/2022		COUNCIL PM ISSUE

TOWN PLANNING	
Project	103 BEACH STREET PORT MELBOURNE
Project No	21001
Location	
Title	CONTEXT ELEVATIONS: SHEET 1
Scale @A1	1:200
Drawn By	JH
Date	11/02/2022
Rev	1



Level 5
111 Bouverie Lane
Melbourne VIC
3006 Australia
P.O. Box 6390
Canton Street East
Melbourne VIC
3003 Australia
+61 3 9486 2300
info@carrmelb.com.au

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Advertised Plan 18 of 34



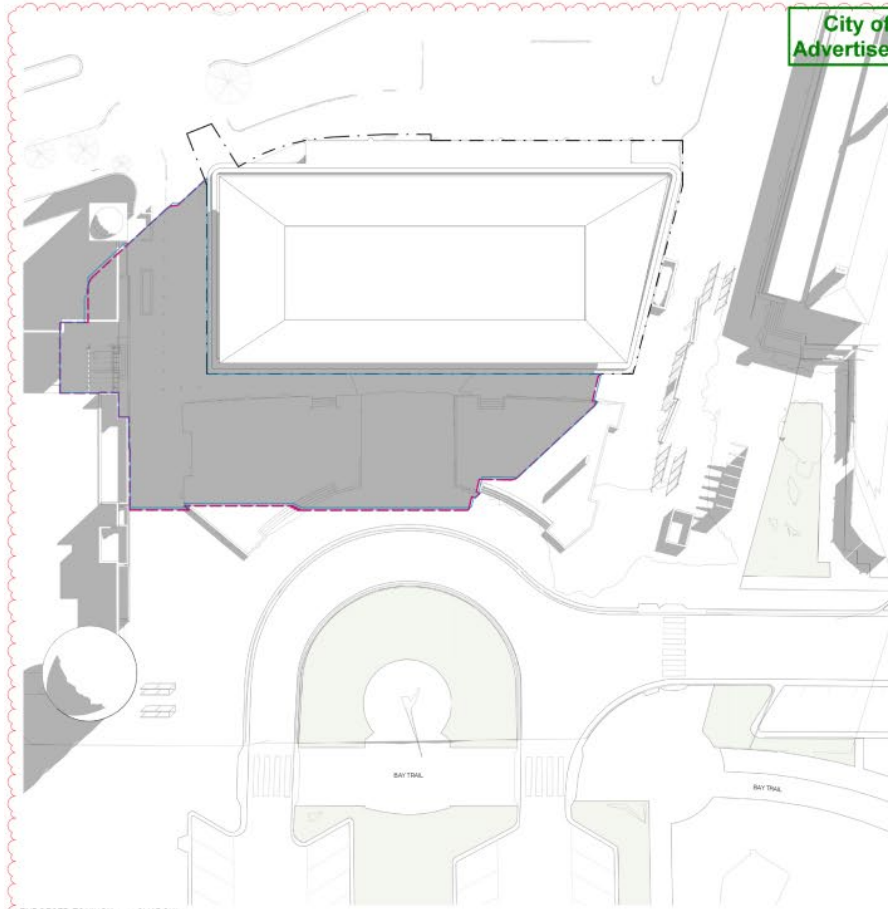
Builder / Contractor shall verify all dimensions before any work commences. Dimensions shown are nominal. Equal dimensions to the left and right of the subject site shall be maintained. Any dimensions are to be made known to the architect. Designers shall prior to any work commencing provide all fixed fittings and materials to be submitted for review and final approval shall not be made until the end of the construction process.

Rev	Date	GHF Issue
1	11/02/2012	COUNCIL PM ISSUE

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TOWN PLANNING		
Project	103 BEACH STREET PORT MELBOURNE	Project No. 21011
Location		
Title	CONTEXT ELEVATIONS - SHEET 2	
Scale @A1	1:200	Draw No. TP - 402
Drawn By	JH	Date 11/02/2012 Rev 1

carr
Level 4
211 Flinders Lane
Melbourne VIC
3000 Australia
PO Box 10588
Canton, Victoria 3105
Australia
+61 3 9601 2200
info@carr.net.au
carr.net.au



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ENDORSED EQUINOX 0900 SHADOW
SCALE: 1:200

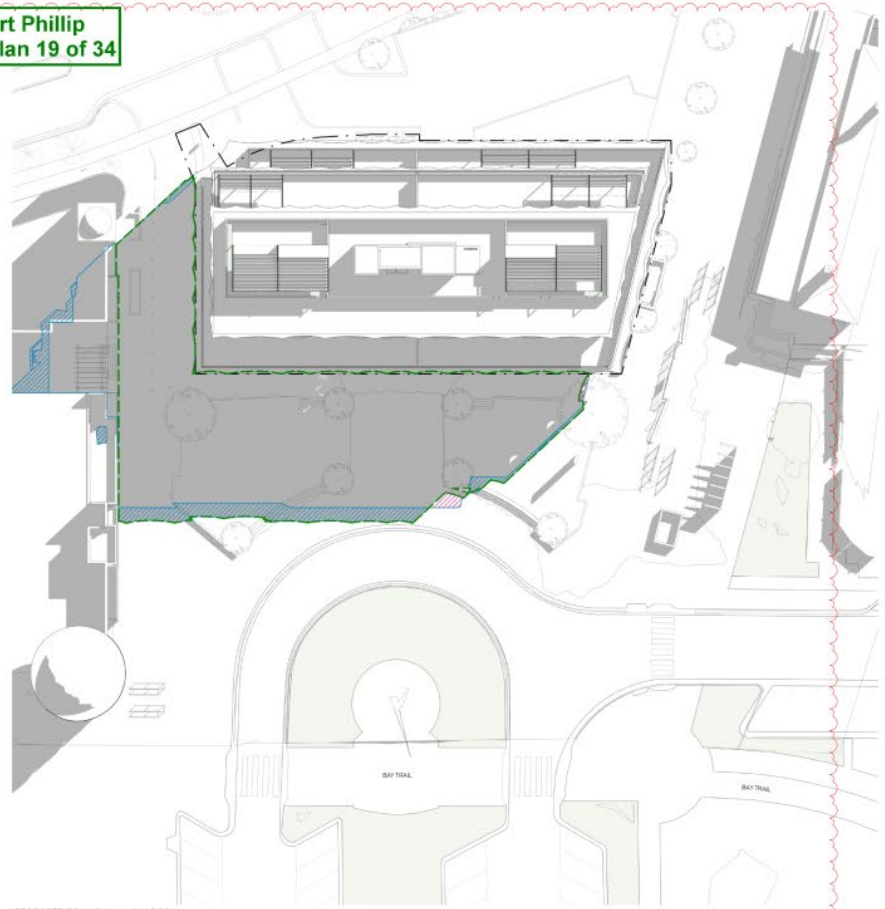
SHADOW STUDY EQUINOX 0900 (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	18.02 m ²	19.07 m ²	20.02 m ²	7.06 m ²	23.21 m ²	18.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	974.31 m ²	0.00 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	8.18 m ²	0.00 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	84.78 m ²	0.00 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1059.07 m ²	0.00 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval and any conditions of approval. All dimensions are to be taken from the face of the building unless otherwise stated. All dimensions are to be taken from the face of the building unless otherwise stated. All dimensions are to be taken from the face of the building unless otherwise stated.

Rev	Date	Desc	Value
1	11/03/2022	COUNCIL PM ISSUE	



PROPOSED EQUINOX 0900 SHADOW
SCALE: 1:200

KEY

- LINE OF ENDORSED SCHEME
- - - LINE OF ENDORSED SCHEME IN ORDER TO COMPLY WITH MELBOURNE WATERFLOOD ADVICE (SOL PLOT 3.5.0.10.0)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21501

LURCON

Title: EQUINOX SHADOW DIAGRAM 0900

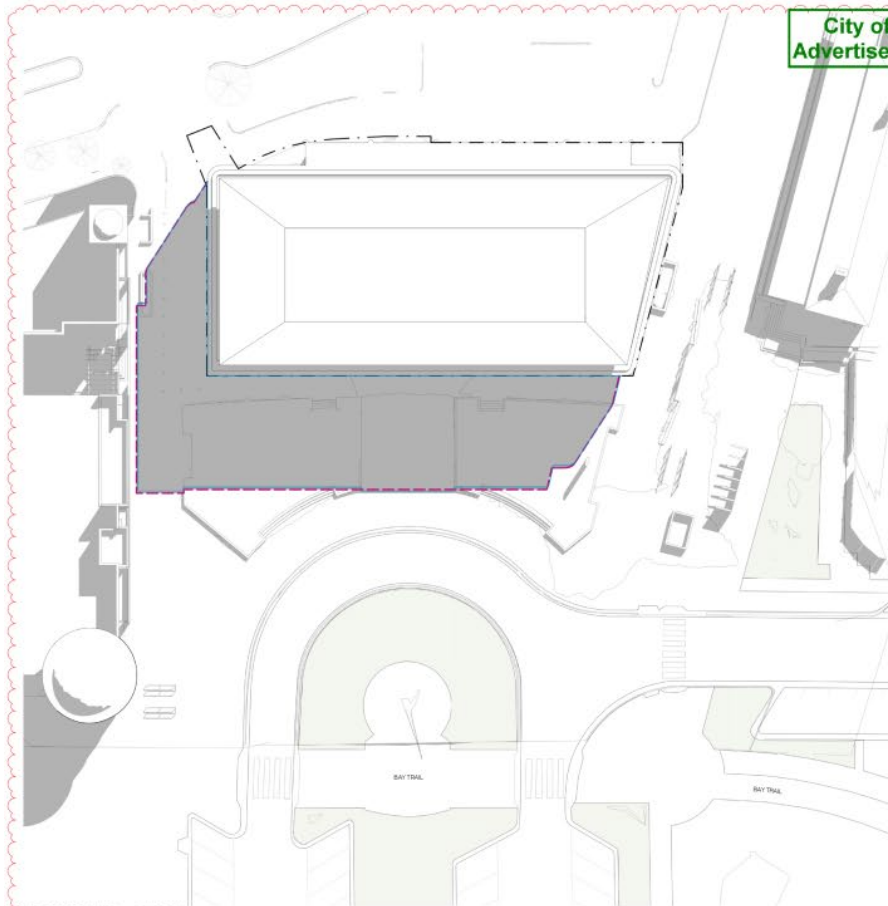
Scale @A1: 1:200

Drawn By: L.D./BC Date: 20/09/2022 Rev: 1



carr

Level 1
11 Beach Lane
Melbourne VIC
3000 Australia
P.O. Box 6390
Canton Street East
Melbourne VIC
3003 Australia
+61 3 9486 2300
info@carr.net.au
carr.net.au



City of Port Phillip
Advertised Plan 20 of 34

ENDORSED EQUINOX 1000 SHADOW
SCALE: 1:250

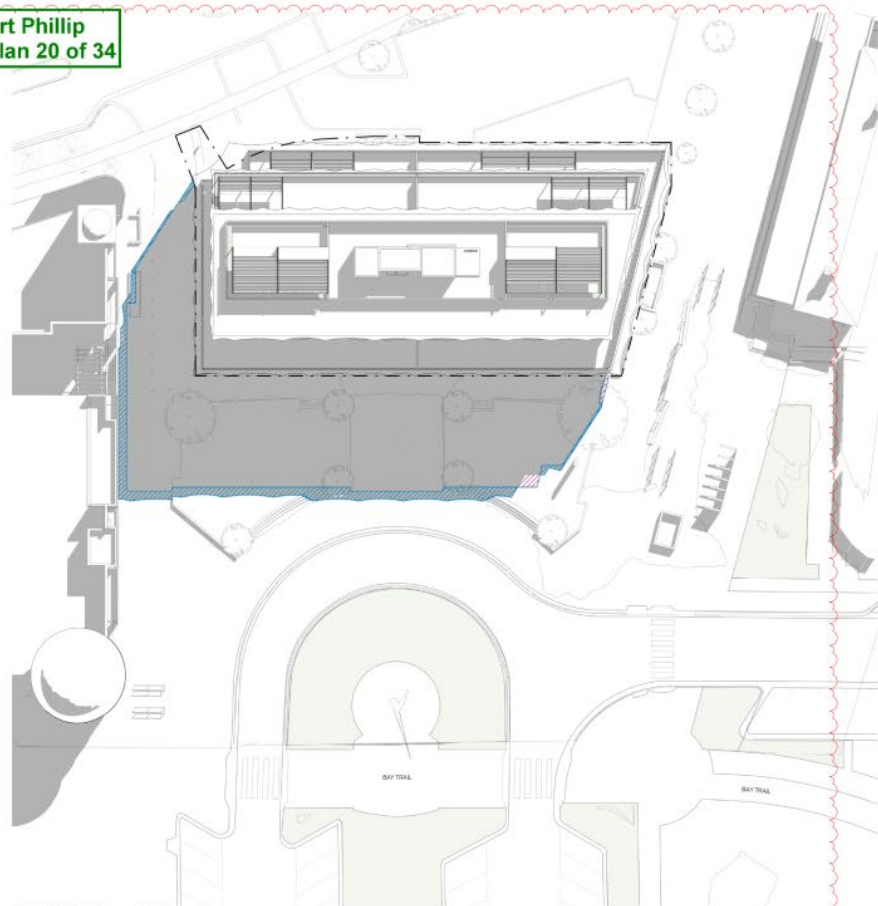
SHADOW STUDY EQUINOX 10AM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	18.02 m ²	19.07 m ²	20.02 m ²	7.96 m ²	23.21 m ²	18.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	777.28 m ²	0.00 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	4.17 m ²	0.00 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	72.86 m ²	0.00 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	850.14 m ²	0.00 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval with all conditions of approval and any variations to the conditions of approval. Any development shall be subject to the conditions of approval. The conditions of approval shall be subject to the conditions of approval. The conditions of approval shall be subject to the conditions of approval.

Rev	Date	Desc	Value
1	11/03/2022	COUNCIL PM ISSUE	



PROPOSED EQUINOX 1000 SHADOW
SCALE: 1:250

KEY

- LINE OF ENDORSED SCHEME
- - - LINE OF PROPOSED SCHEME (AREA TO COMPLY WITH MELBOURNE WATERFLOOD ADVICE SOL PL 17.3.20-18)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING
Project: 105 BEACH STREET PORT MELBOURNE Project No: 21511

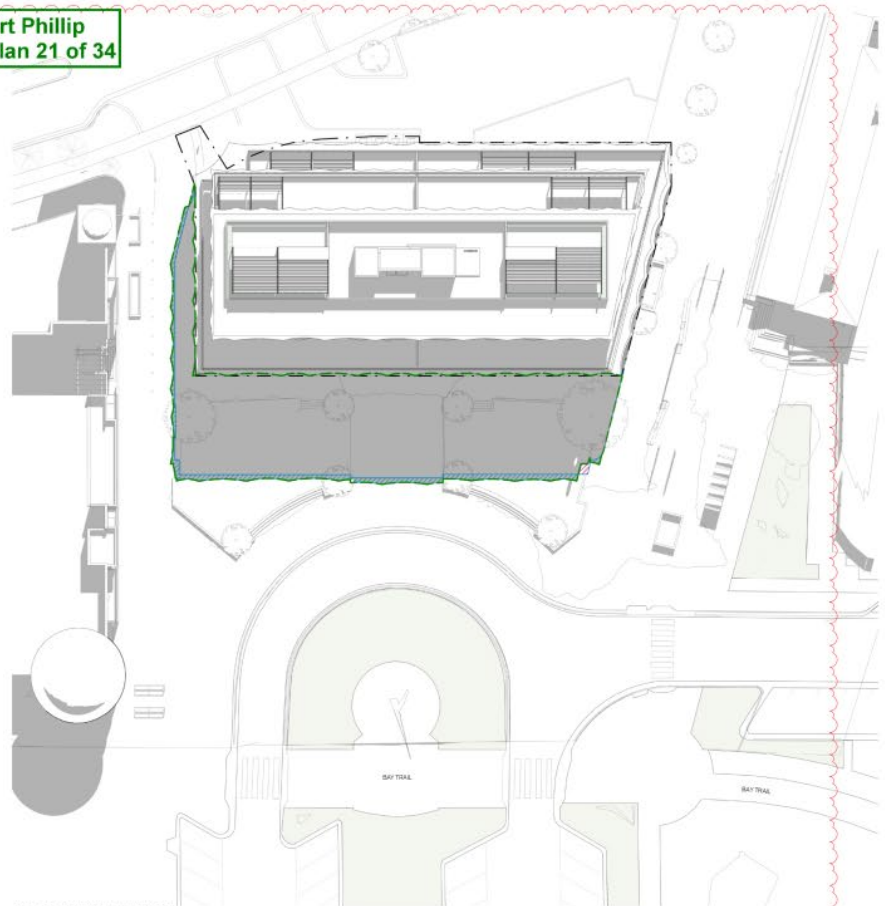
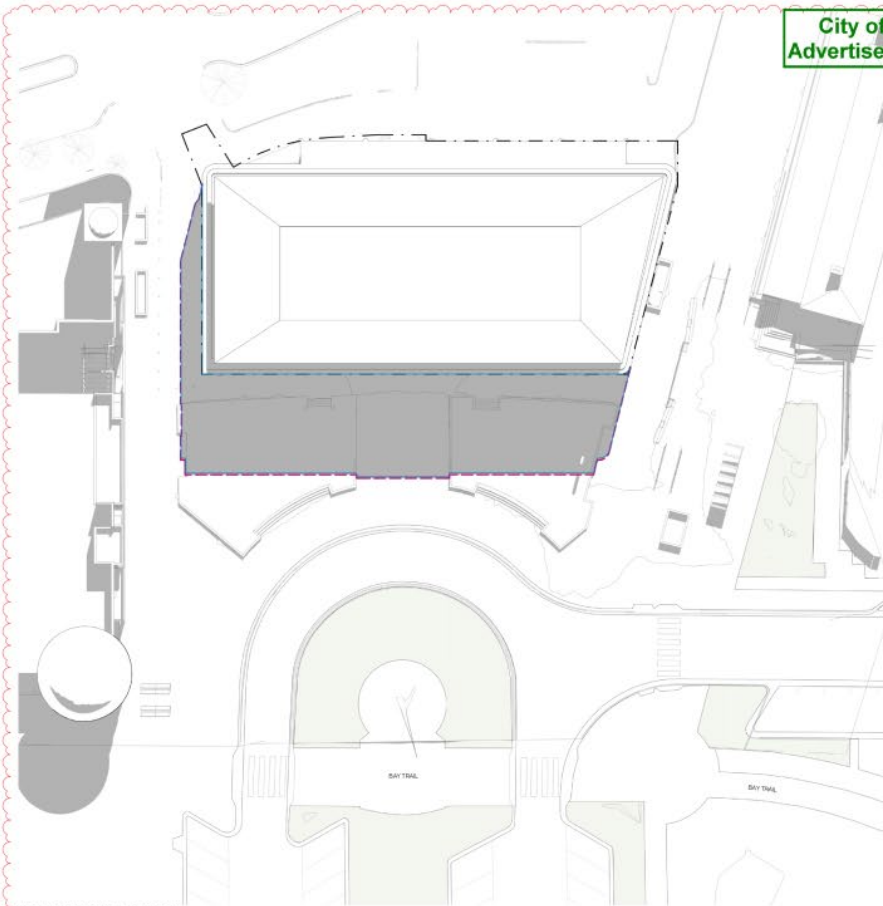


LURCON	
Title	EQUINOX SHADOW DIAGRAM 10AM
Scale	1:250
Drawn By	TH
Date	20/09/2022
Rev	1
Dep File	TP - 701

carr

Level 1
11 Station Lane
Melbourne VIC
3000 Australia
P O Box 1830
Canton Street East
Melbourne VIC
3003 Australia
11 11 11 11 11 11
mel@carr.net.au
car@mel.net.au

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ENDORSED EQUINOX 1100 SHADOW
SCALE 1:250

PROPOSED EQUINOX 1100 SHADOW
SCALE 1:250

SHADOW STUDY EQUINOX 11AM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	18.02 m ²	19.07 m ²	28.02 m ²	7.06 m ²	23.21 m ²	18.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	591.40 m ²	0.00 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1.81 m ²	0.00 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	36.66 m ²	0.00 m ²
OVERSHADOWING FOOTPRINTS & INCREASES (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	628.25 m ²	0.00 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval with all conditions of approval and any other conditions of approval. Any development shall be subject to the conditions of approval. The applicant shall be responsible for obtaining all necessary approvals from the relevant authorities. The applicant shall be responsible for obtaining all necessary approvals from the relevant authorities. The applicant shall be responsible for obtaining all necessary approvals from the relevant authorities.

KEY

- LINE OF ENDORSED SCHEME
- LINE OF ENDORSED SCHEME IN ORDER TO COMPLY WITH MELBOURNE WATER FLOOD ADVICE (SOL PLOT 3.5.10.10)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21511

LURCON

Title: EQUINOX SHADOW DIAGRAM 1100

Scale: 1:250

Drawn By: TH

Date: 20/09/2021

Rev: 1

Dep File: TP - 702

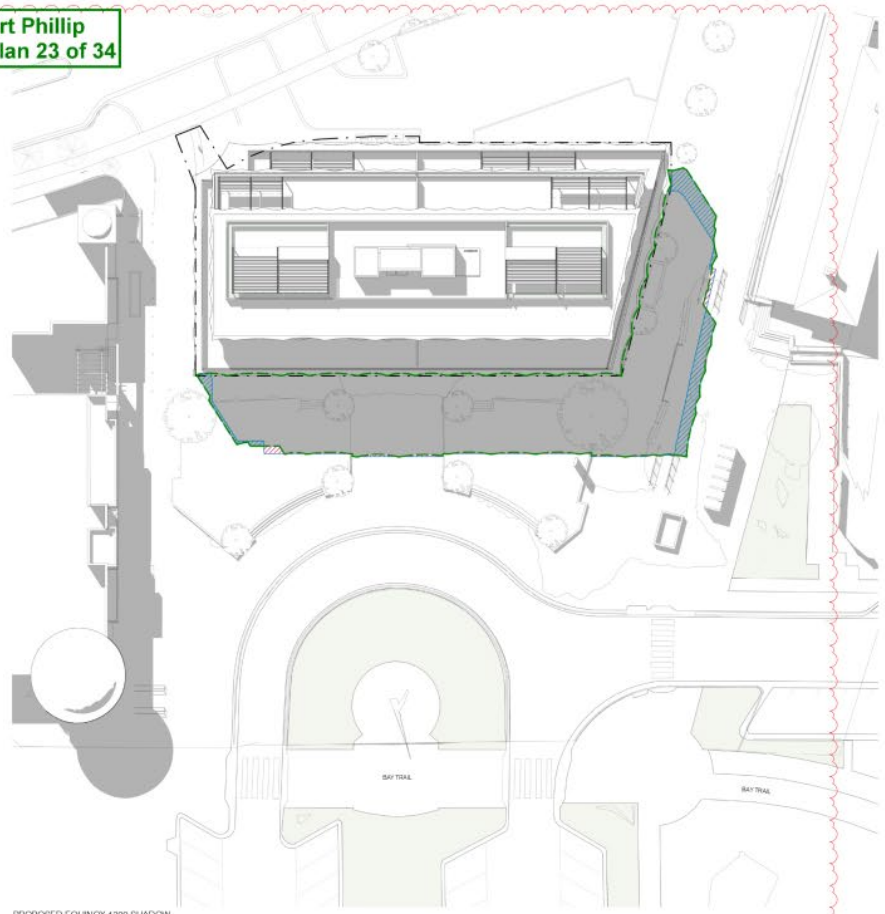
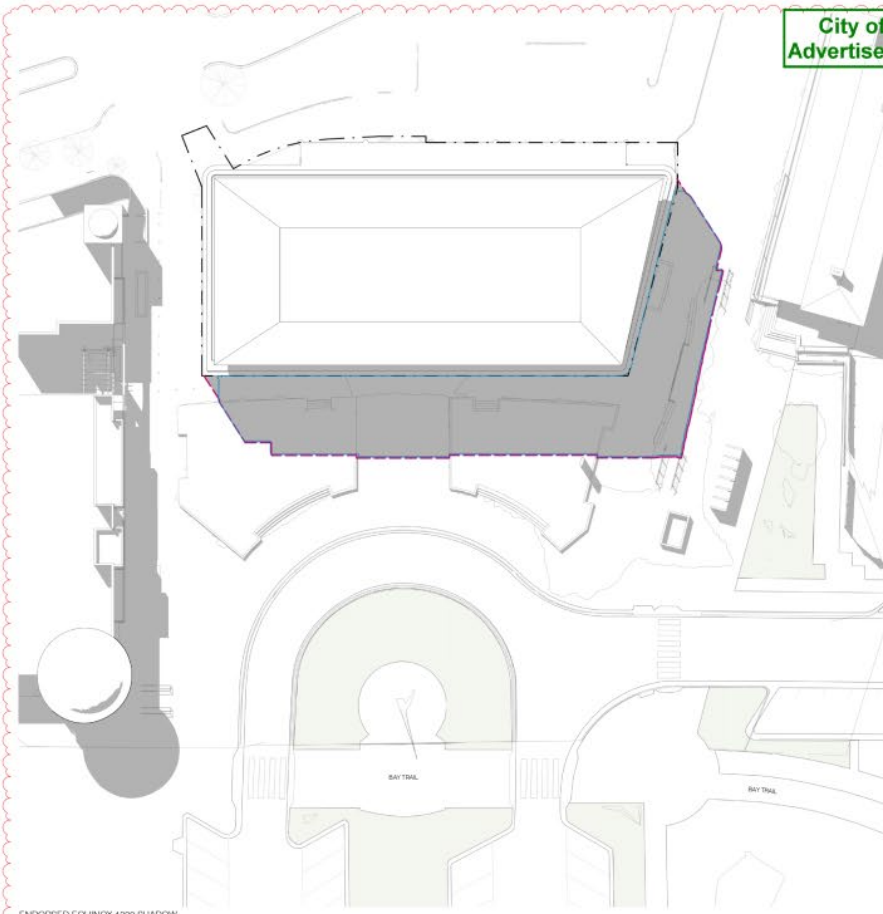
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Level 1
111 Station Lane
Melbourne VIC
3000 Australia

P.O. Box 6390
Canton Street East
Melbourne VIC
3003 Australia

+61 3 9486 2300
info@carr.net.au
carr.net.au

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ENDORSED EQUINOX 1300 SHADOW
SCALE 1:200

PROPOSED EQUINOX 1300 SHADOW
SCALE 1:200

SHADOW STUDY EQUINOX 1300 (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	18.02 m ²	19.07 m ²	26.02 m ²	7.96 m ²	23.21 m ²	18.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	584.50 m ²	0.00 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	7.85 m ²	0.00 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	43.07 m ²	0.00 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	627.57 m ²	0.00 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval under the provisions of the Planning and Environment Act 1987, the Council will consider the merits of the application. Any development under this plan must be in accordance with the provisions of the Planning and Environment Act 1987. All other matters shall be referred to the relevant authority. © Carr Architects Pty Ltd 2020. All rights reserved. 105-107 Beach Street

Rev	Date	Drawn	Value
1	11/03/2022	COUNCIL PM ISSUE	

KEY

- LINE OF ENDORSED SCHEME
- LINE OF ENDORSED SCHEME IN ORDER TO COMPLY WITH MELBOURNE WATERFLOOD ADVICE (SOL PLOT 3 SH-IMP)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21511

LURCON

Title: EQUINOX SHADOW DIAGRAM 1300

Scale: 1:200

Drawn By: TH

Date: 20/09/2022

Rev: 1

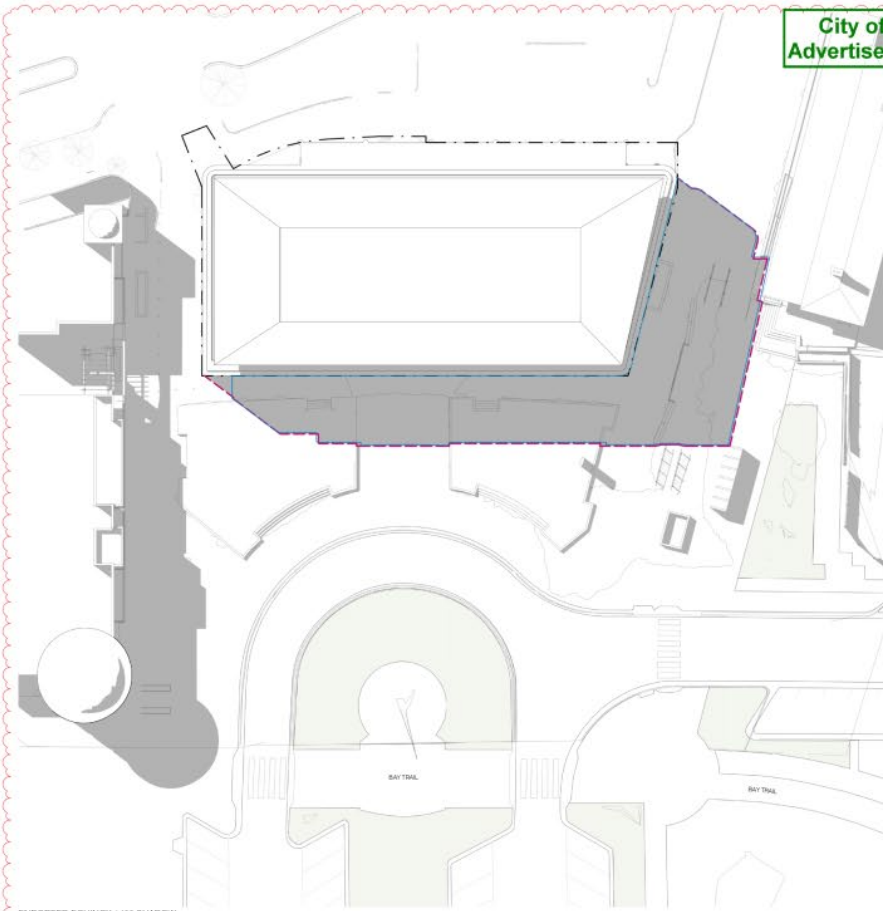
Dep File: TP - 704



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Level 1
111 Beach Lane
Melbourne VIC
3000 Australia
P: 03 9594 6890
Carr Architects
Melbourne VIC
3000 Australia
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Advertised Plan 24 of 34



ENDORSED EQUINOX 1400 SHADOW
SCALE 1:200

SHADOW STUDY EQUINOX 2PM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

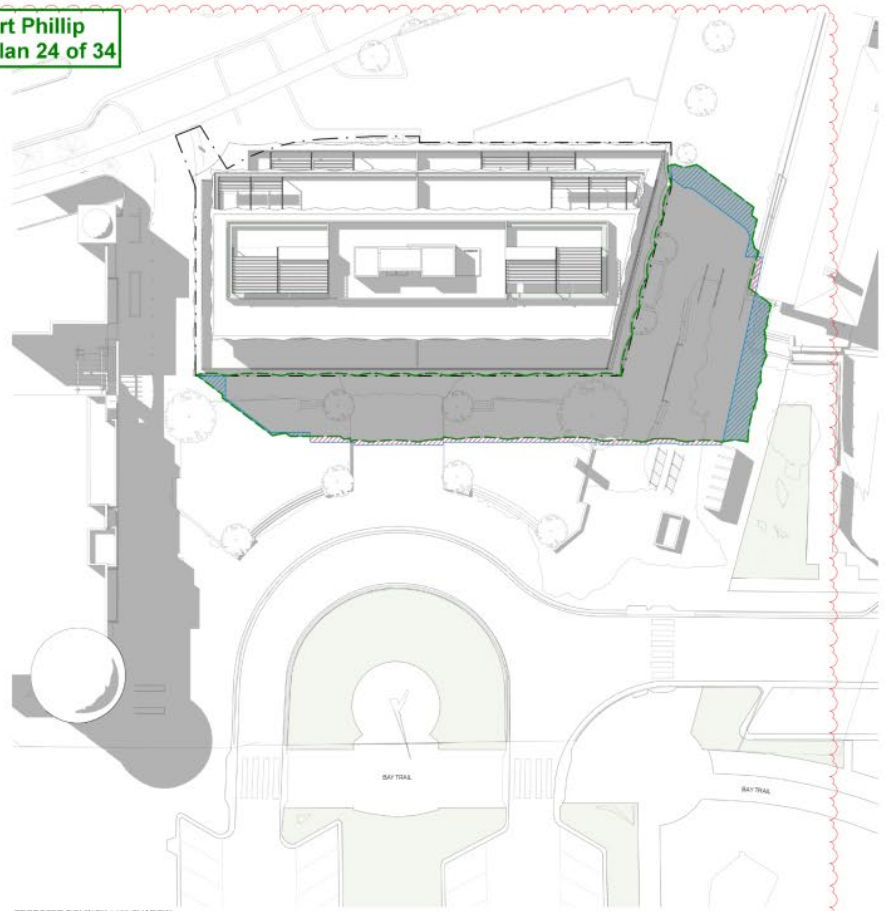
ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	18.02 m ²	19.07 m ²	28.02 m ²	7.96 m ²	23.21 m ²	18.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	648.28 m ²	0.00 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	24.79 m ²	0.00 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	75.05 m ²	0.00 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	723.46 m ²	0.00 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval under the provisions of the Planning and Environment Act 1987, the Council will consider the proposed development and any other relevant information. Any development which is not in accordance with the provisions of the Planning and Environment Act 1987, the Council will not be able to issue a permit for the development. The Council will not be able to issue a permit for the development if the development is not in accordance with the provisions of the Planning and Environment Act 1987. The Council will not be able to issue a permit for the development if the development is not in accordance with the provisions of the Planning and Environment Act 1987. The Council will not be able to issue a permit for the development if the development is not in accordance with the provisions of the Planning and Environment Act 1987.

Rev: 1 Date: 11/03/2022 COUNCIL PM ISSUE

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PROPOSED EQUINOX 1400 SHADOW
SCALE 1:200

KEY

- LINE OF ENDORSED SCHEME
- - - LINE OF ENDORSED SCHEME IN ORDER TO COMPLY WITH MELBOURNE WATERFLOOD ADVICE (SOL PLOT 1.3 SH-IMP)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING
Project: 105 BEACH STREET PORT MELBOURNE Project No: 21511

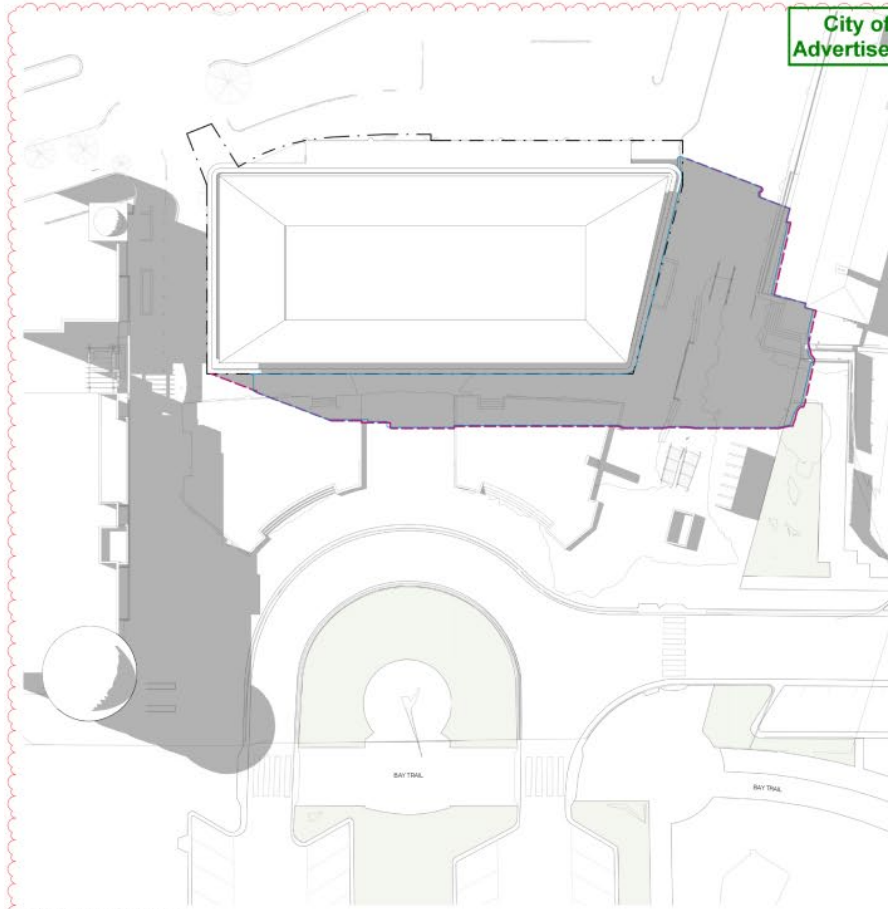


LUXICON
Title: EQUINOX SHADOW DIAGRAM 1400
Scale: 1:200
Drawn By: TH
Date: 20/09/2021
Rev: 1

Dep File: TP - 705

carr

Level 5
111 Flinders Lane
Melbourne VIC
3000 Australia
P: 03 9396 6300
Carr Architects
Melbourne VIC
3000 Australia
105 - 111 Flinders Lane
mel@carr.net.au
carr.net.au



City of Port Phillip
Advertised Plan 25 of 34

ENDORSED EQUINOX 1500 SHADOW
SCALE 1:200

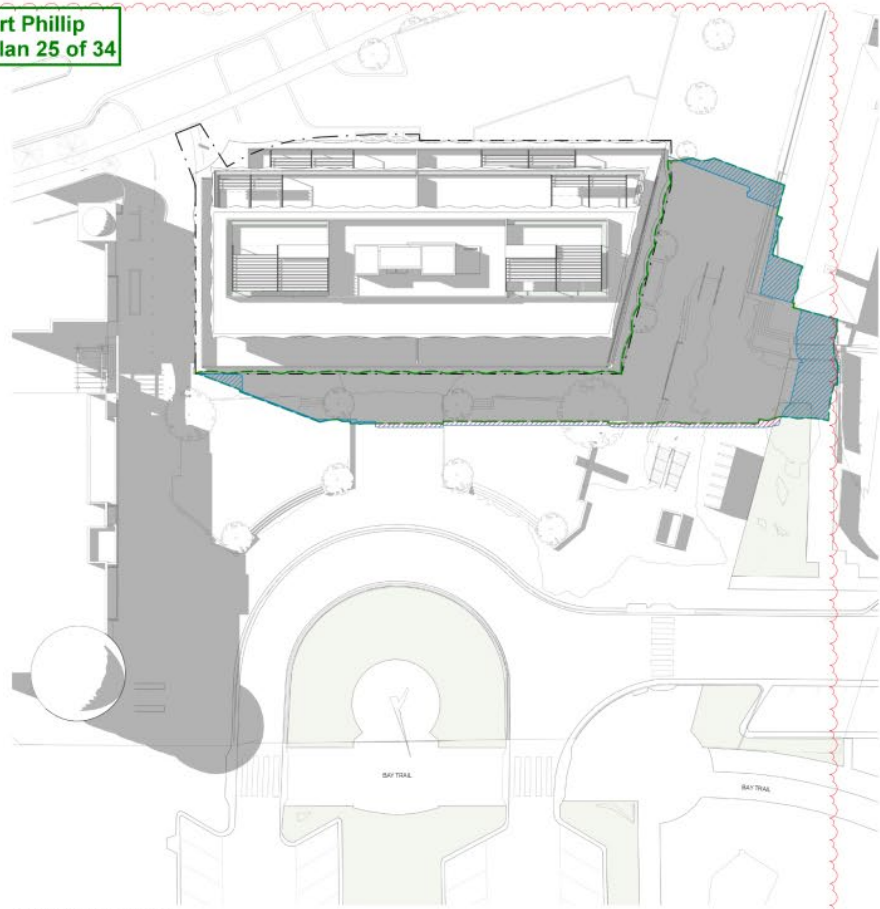
SHADOW STUDY EQUINOX 3PM 105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 0)	POS 12 (LEVEL 0)	POS 13 (LEVEL 0)	POS 14 (LEVEL 0)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	16.02 m ²	19.07 m ²	26.02 m ²	7.06 m ²	23.21 m ²	14.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	677.22 m ²	0.00 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	30.08 m ²	0.00 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	99.18 m ²	0.00 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	776.60 m ²	0.00 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval under the provisions of the Planning and Environment Act 1987, the Council will consider the merits of the application and the proposed development. Any development approved by the Council is subject to the conditions of the planning permit. The Council reserves the right to vary the conditions of the permit at any time. The Council is not responsible for the accuracy of the information provided in this document. For more information, please contact the Council's Planning Department on 9594 2000 or visit our website at www.portphillip.vic.gov.au. © Carr Architects Pty Ltd 2020. All rights reserved. 105-107 Beach Street

Rev	Date	Drawn	Checked	By
1	11/03/2022			COUNCIL PM ISSUE



PROPOSED EQUINOX 1500 SHADOW
SCALE 1:200

KEY

- LINE OF ENDORSED SCHEME
- LINE OF PROPOSED SCHEME (REDUCED WATER FLOOD RISK)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

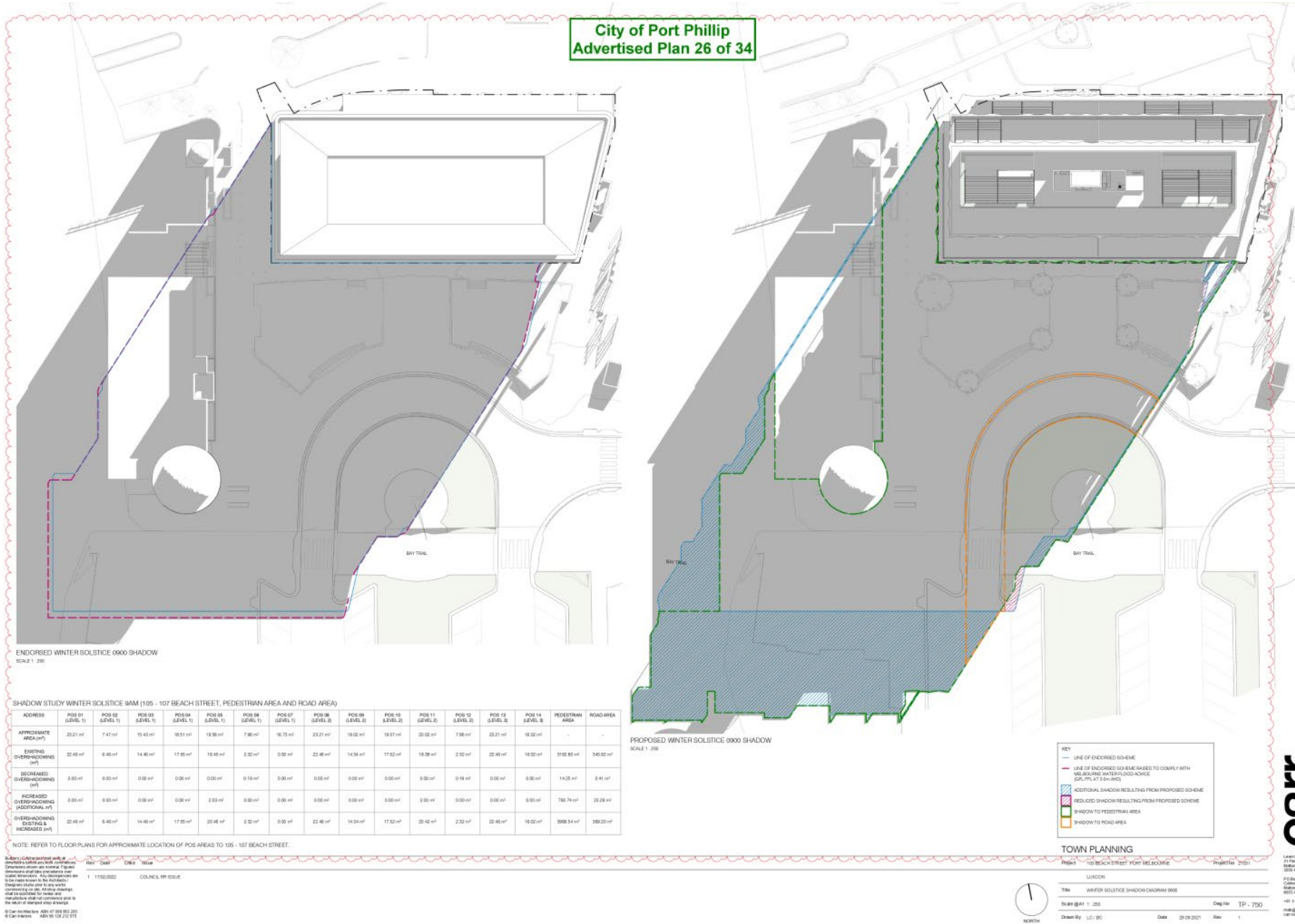
TOWN PLANNING

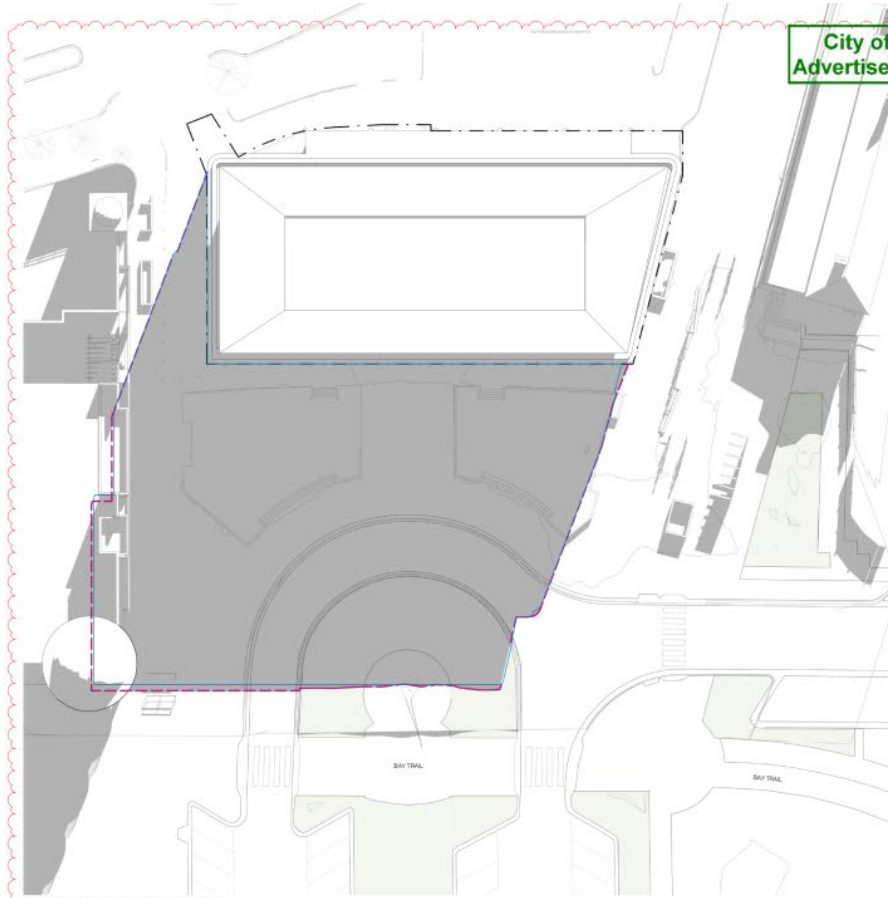
Project	105 BEACH STREET PORT MELBOURNE	Project No	21511
Location	LUXICON		
Title	EQUINOX SHADOW DIAGRAM 1500		
Scale	1:200	Drawn By	TP - 700
Date	20/09/2021	Rev	1



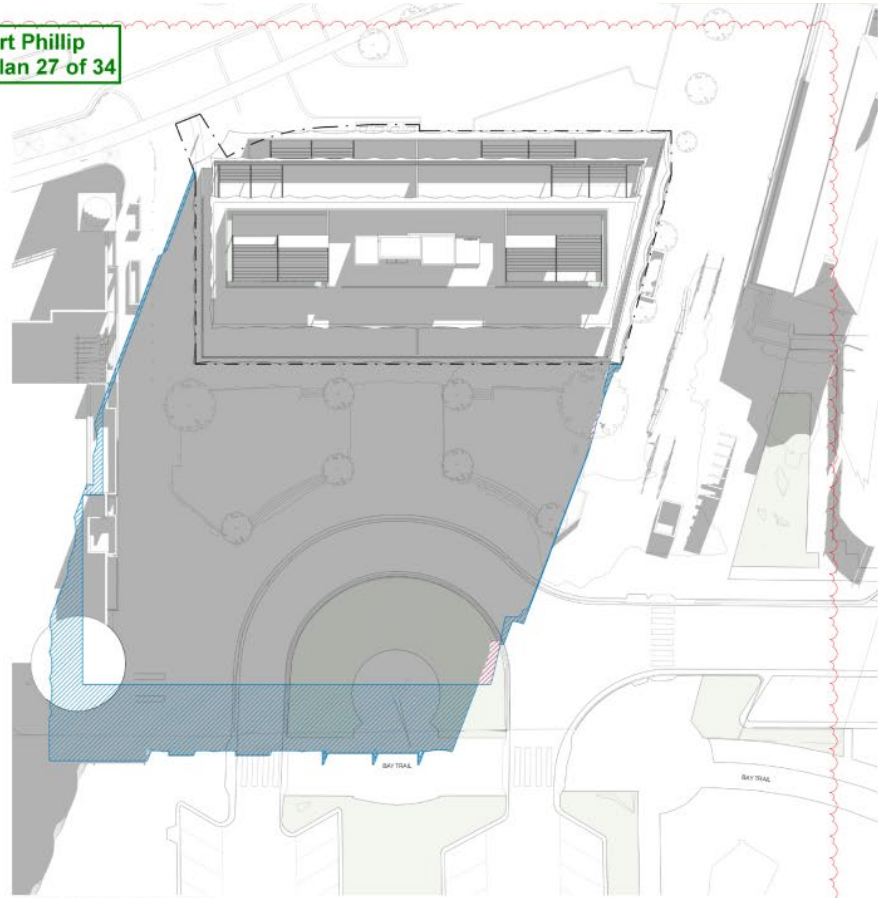
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Level 11
111 Beach Lane
Melbourne VIC
3000 Australia
P O Box 1830
Canton Street East
Melbourne VIC
3003 Australia
105-107 Beach Street
105-107 Beach Street
105-107 Beach Street





City of Port Phillip
Advertised Plan 27 of 34



ENDORSED WINTER SOLSTICE 1000 SHADOW
SCALE 1:250

PROPOSED WINTER SOLSTICE 1000 SHADOW
SCALE 1:250

SHADOW STUDY WINTER SOLSTICE 10AM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	22.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	16.02 m ²	19.07 m ²	26.02 m ²	7.06 m ²	23.21 m ²	14.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	7.50 m ²	8.46 m ²	14.46 m ²	10.89 m ²	9.29 m ²	0.00 m ²	0.00 m ²	7.50 m ²	14.34 m ²	10.89 m ²	8.20 m ²	0.00 m ²	7.50 m ²	16.02 m ²	1721.48 m ²	270.41 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	6.82 m ²	0.00 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	14.83 m ²	0.00 m ²	0.00 m ²	5.84 m ²	3.26 m ²	0.00 m ²	0.00 m ²	14.83 m ²	0.00 m ²	5.84 m ²	3.26 m ²	0.00 m ²	14.83 m ²	0.00 m ²	215.17 m ²	51.81 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	22.33 m ²	8.46 m ²	14.46 m ²	16.53 m ²	12.55 m ²	0.00 m ²	0.00 m ²	22.33 m ²	14.34 m ²	16.53 m ²	12.55 m ²	0.00 m ²	22.33 m ²	16.02 m ²	2036.63 m ²	322.32 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval under the provisions of the Planning and Environment Act 1987 (Vic) and the Planning and Environment Regulations 2014 (Vic). Any development or other activity must be consistent with the provisions of the Planning and Environment Act 1987 (Vic) and the Planning and Environment Regulations 2014 (Vic). All other approvals must be obtained prior to construction.

Rev	Date	Desc	Value
1	11/03/2022	COUNCIL PM ISSUE	

KEY

- LINE OF ENDORSED SCHEME
- LINE OF ENDORSED SCHEME (AREA TO COMPLY WITH MELBOURNE WATERFLOODANCE SOE PLOT 13 SHIMS)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21501

LURCON

Title: WINTER SOLSTICE SHADOW DIAGRAM 1000

Scale @A1: 1:250

Drawn By: TH

Date: 20/09/2022

Rev: 1

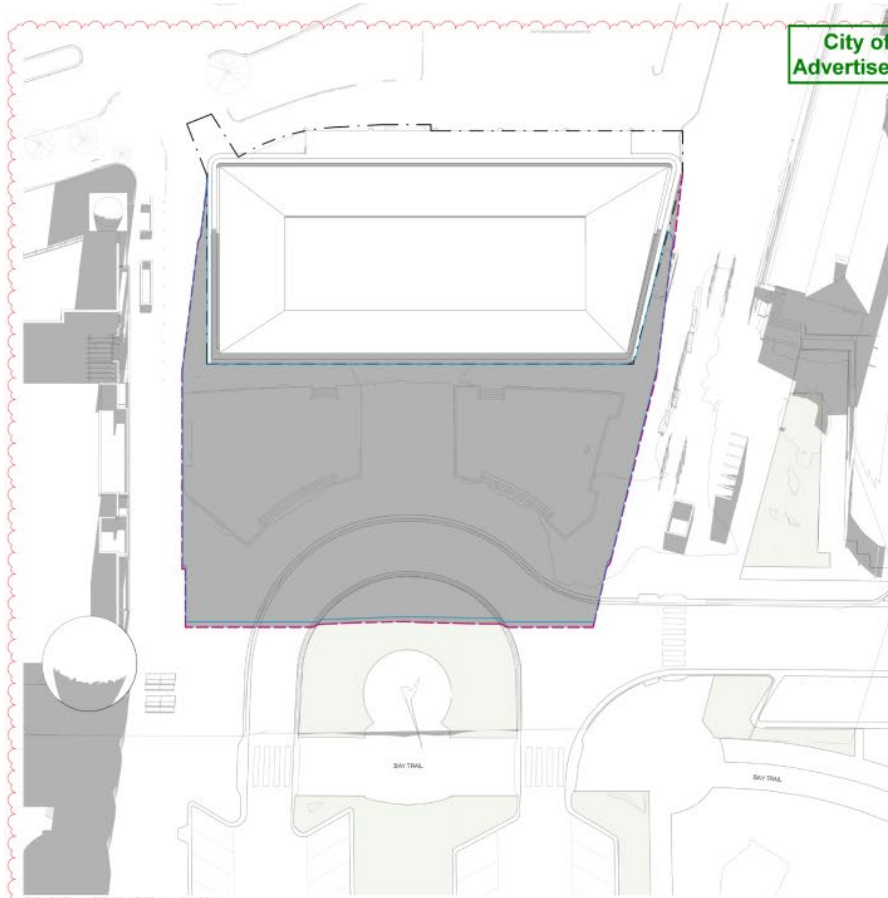
Dep File: TP - 751

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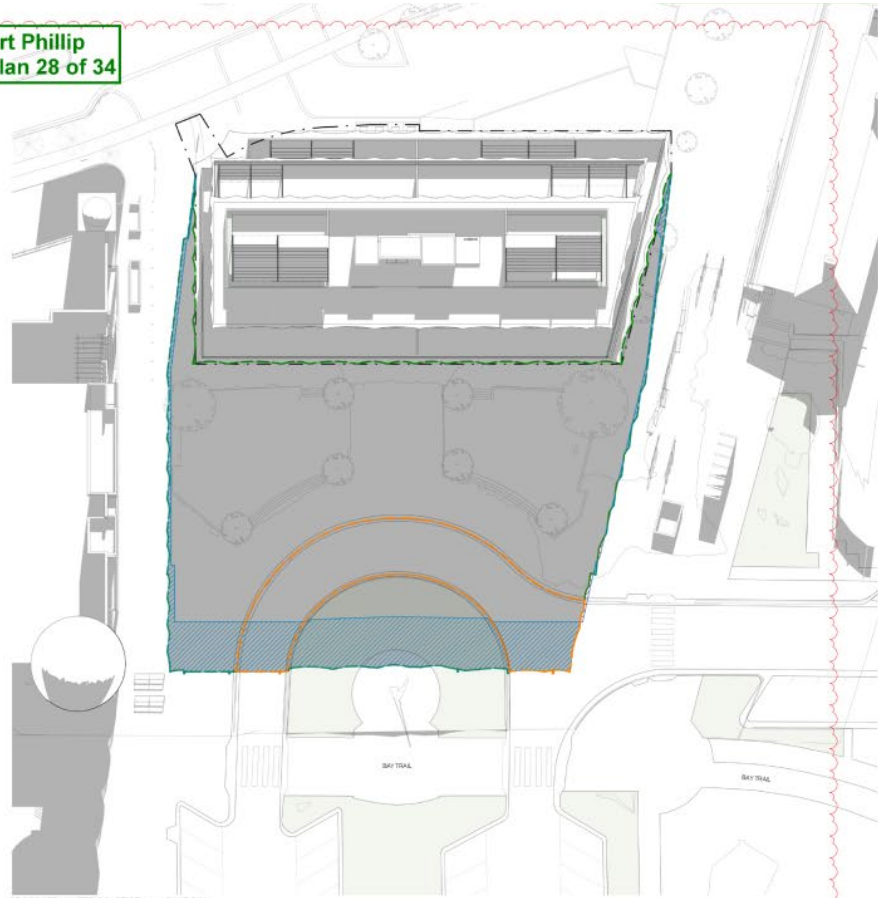
Level 1
111 Rialto Lane
Melbourne VIC
3000 Australia

P: 03 9595 6890
C: 03 9595 6891
Melbourne VIC
3000 Australia

+61 3 9595 2380
mel@carr.net.au
carr.net.au



City of Port Phillip
Advertised Plan 28 of 34



ENDORSED WINTER SOLSTICE 1100 SHADOW
SCALE 1:250

PROPOSED WINTER SOLSTICE 1100 SHADOW
SCALE 1:250

SHADOW STUDY WINTER SOLSTICE 11AM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.73 m ²	23.21 m ²	18.02 m ²	19.07 m ²	28.02 m ²	7.96 m ²	23.21 m ²	18.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1283.89 m ²	241.14 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1.79 m ²	5.88 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	202.16 m ²	78.15 m ²
OVERSHADOWING TOTAL INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1488.05 m ²	219.29 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval under the provisions of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2007. Any development is to be made in accordance with the provisions of the Environmental Planning and Assessment Act 1979 and the Environmental Planning and Assessment Regulation 2007. All other approvals shall be obtained prior to construction.

Rev	Date	Desc	Issue
1	11/03/2022		COUNCIL PM ISSUE

KEY

- LINE OF ENDORSED SCHEME
- - - LINE OF ENDORSED SCHEME ADDED TO COMPLY WITH MELBOURNE WATERFLOOD ADVICE (SOL PLOT 3 SH-MS)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21511

LURCON

Title: WINTER SOLSTICE SHADOW DIAGRAM 1100

Scale @A1: 1:250

Drawn By: TH

Date: 20/09/2022

Rev: 1

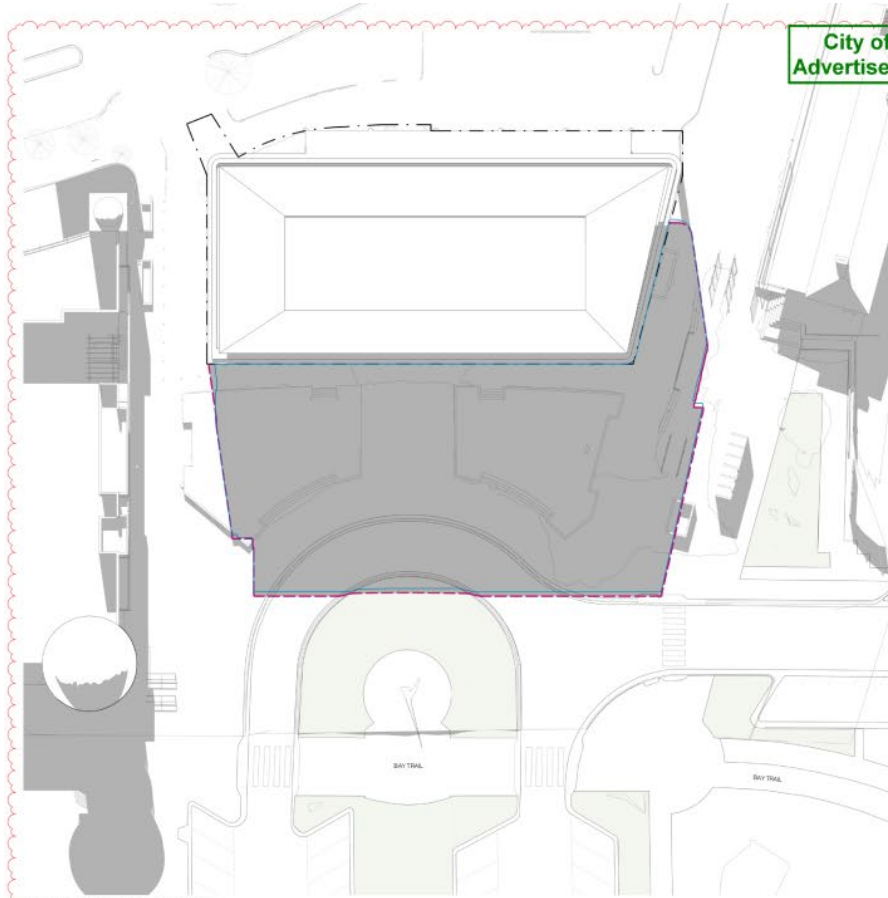
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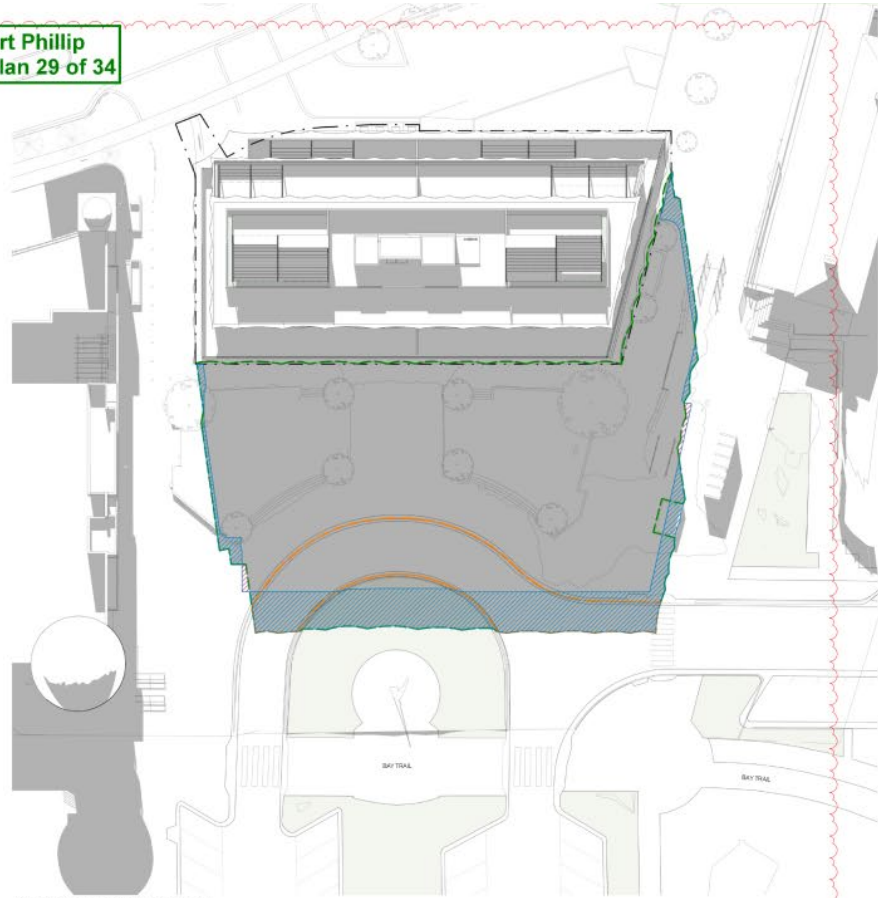
Level 5
111 Balaclava Lane
Melbourne VIC
3000 Australia

P O Box 6390
Canton Street East
Melbourne VIC
3003 Australia

+61 3 9486 2300
mel@carrmel.com.au
car@mel.carr



City of Port Phillip
Advertised Plan 29 of 34



ENDORSED WINTER SOLSTICE 1200 SHADOW
SCALE: 1:250

PROPOSED WINTER SOLSTICE 1200 SHADOW
SCALE: 1:250

SHADOW STUDY WINTER SOLSTICE 12PM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	23.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.73 m ²	23.21 m ²	16.02 m ²	19.07 m ²	26.02 m ²	7.06 m ²	23.21 m ²	16.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1222.18 m ²	176.51 m ²
REDUCED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	6.16 m ²	4.83 m ²
PROPOSED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	142.15 m ²	158.04 m ²
OVERSHADOWING TOTAL PROPOSED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1374.33 m ²	285.15 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval under the provisions of the Planning and Environment Act 1987, the Council may require the applicant to provide additional information. Any information provided must be submitted to the Council in accordance with the Council's Information Management Policy. The Council may also require the applicant to provide additional information in accordance with the Council's Information Management Policy. The Council may also require the applicant to provide additional information in accordance with the Council's Information Management Policy. The Council may also require the applicant to provide additional information in accordance with the Council's Information Management Policy.

KEY

- LINE OF ENDORSED SCHEME
- LINE OF ENDORSED SCHEME IN ORDER TO COMPLY WITH MELBOURNE WATERFLOODANCE SOL PL 11.3 (MWS)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 2151

LURCON

Title: WINTER SOLSTICE SHADOW DIAGRAM 1200

Scale @A1: 1:250

Drawn By: L.D.B.C.

Date: 20/09/2021

Rev: 1

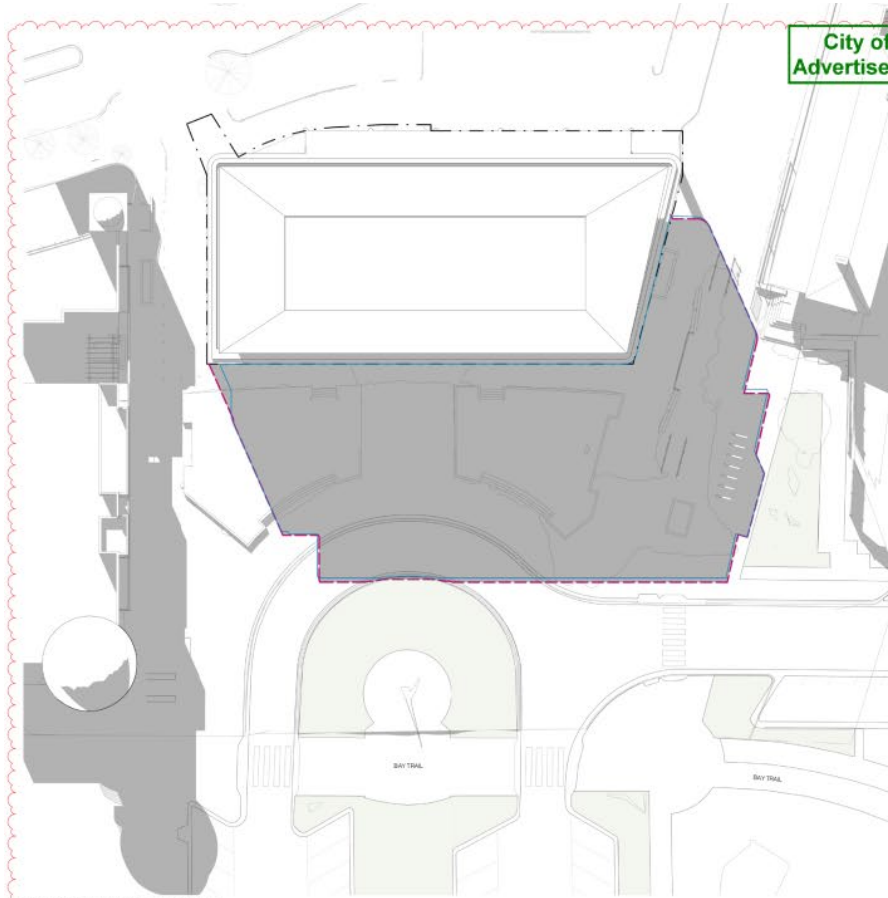
Dep File: TP - 7703

carr

Level 5
111 Rialto Lane
Melbourne VIC
3000 Australia

P.O. Box 6390
Canton Street East
Melbourne VIC
3003 Australia

+61 3 9466 2280
mel@carrmel.com.au
car@mel.com.au



City of Port Phillip
Advertised Plan 30 of 34

ENDORSED WINTER SOLSTICE 1300 SHADOW
SCALE 1:250

PROPOSED WINTER SOLSTICE 1300 SHADOW
SCALE 1:250

SHADOW STUDY WINTER SOLSTICE 1PM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	22.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.38 m ²	7.96 m ²	16.72 m ²	23.21 m ²	18.02 m ²	19.07 m ²	28.02 m ²	7.96 m ²	23.21 m ²	18.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1354.99 m ²	137.74 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	5.33 m ²	3.38 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	181.95 m ²	88.58 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1546.93 m ²	216.32 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval with all conditions of approval. All dimensions shown are nominal. For more information, refer to the Council's website. All dimensions are in millimetres unless otherwise stated. All dimensions are to the centre of the line unless otherwise stated. All dimensions are to the centre of the line unless otherwise stated. All dimensions are to the centre of the line unless otherwise stated. All dimensions are to the centre of the line unless otherwise stated.

Rev: 001 Date: 11/03/2022
COUNCIL PM ISSUE

KEY

- LINE OF ENDORSED SCHEME
- LINE OF ENDORSED SCHEME ADDED TO COMPLY WITH MELBOURNE WATERFLOOD ADVICE (SOL PLOT 3.5m-4m)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING
Project: 105 BEACH STREET PORT MELBOURNE Project No: 21511

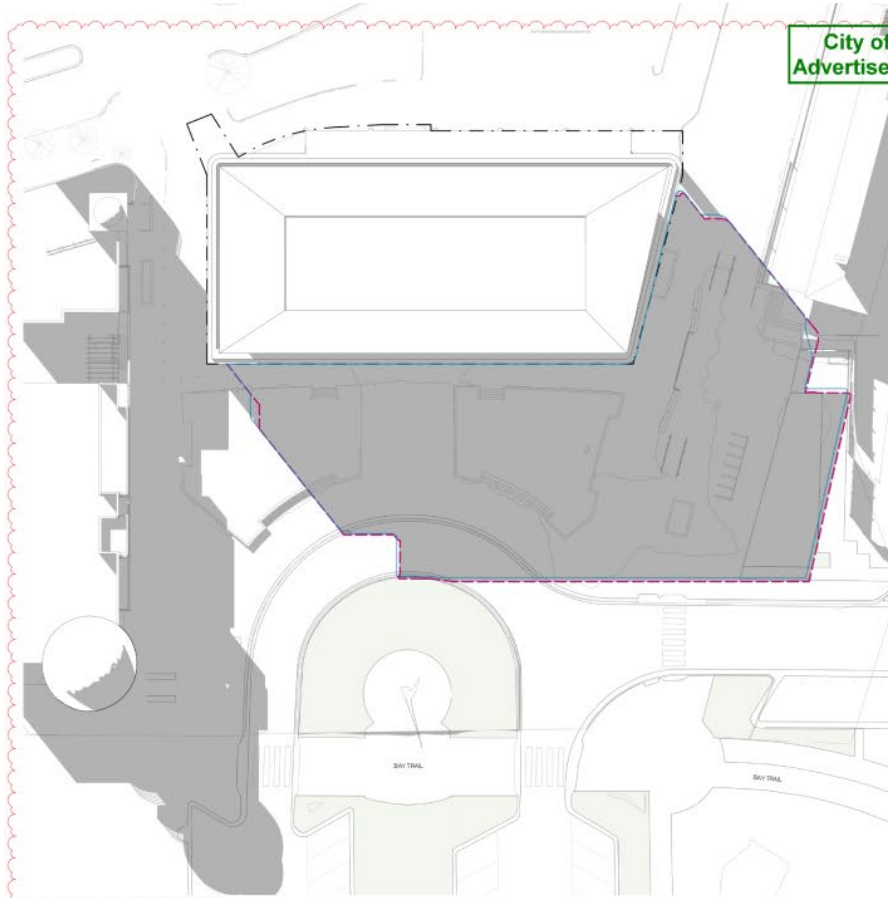


LUXICON
Title: WINTER SOLSTICE SHADOW DIAGRAM 1300
Scale @A1: 1:250
Drawn By: TH
Date: 20/09/2021
Rev: 1

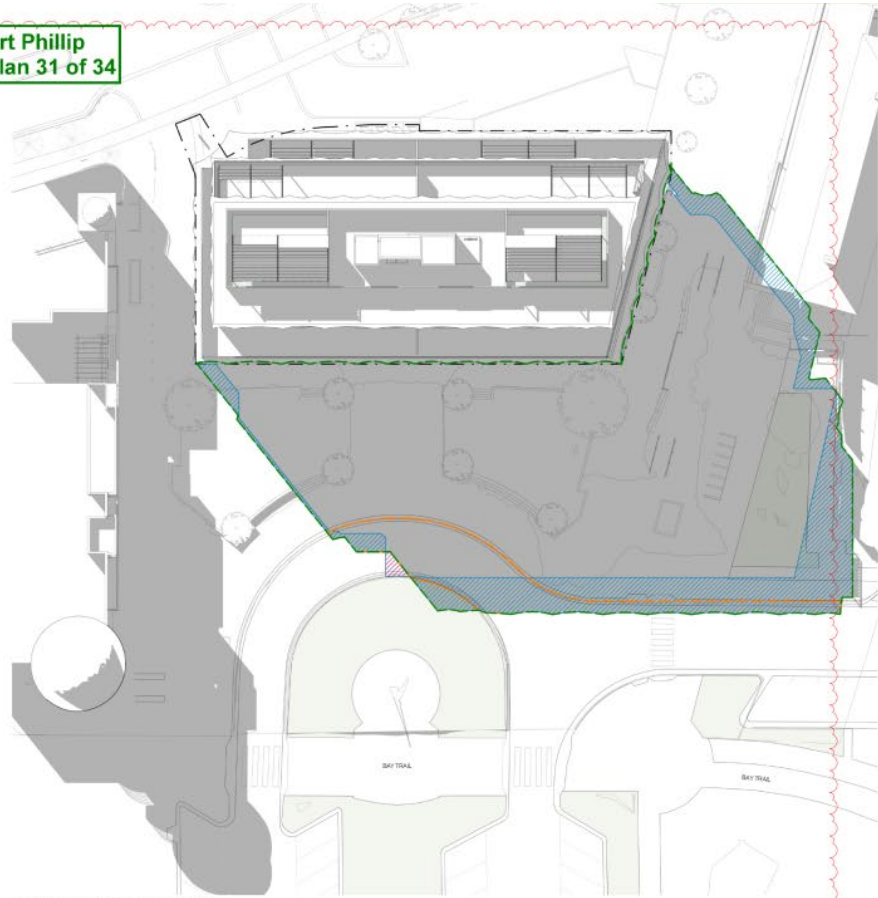
Dep File: TP - 754

carr

Level 5
111 Rouse Lane
Melbourne VIC
3006 Australia
P: 03 9596 6800
Carr Street East
Melbourne VIC
3003 Australia
+61 3 9596 2300
mel@carr.net.au
car@mel.net.au



City of Port Phillip
Advertised Plan 31 of 34



ENDORSED WINTER SOLSTICE 1400 SHADOW
SCALE 1:350

PROPOSED WINTER SOLSTICE 1400 SHADOW
SCALE 1:350

SHADOW STUDY WINTER SOLSTICE 2PM (105 - 107 BEACH STREET, PEDESTRIAN AREA AND ROAD AREA)

ADDRESS	POS 01 (LEVEL 1)	POS 02 (LEVEL 1)	POS 03 (LEVEL 1)	POS 04 (LEVEL 1)	POS 05 (LEVEL 1)	POS 06 (LEVEL 1)	POS 07 (LEVEL 1)	POS 08 (LEVEL 1)	POS 09 (LEVEL 1)	POS 10 (LEVEL 1)	POS 11 (LEVEL 1)	POS 12 (LEVEL 1)	POS 13 (LEVEL 1)	POS 14 (LEVEL 1)	PEDESTRIAN AREA	ROAD AREA
APPROXIMATE AREA (m ²)	22.21 m ²	7.47 m ²	13.43 m ²	18.51 m ²	13.36 m ²	7.96 m ²	16.72 m ²	23.21 m ²	16.02 m ²	19.07 m ²	26.02 m ²	7.06 m ²	23.21 m ²	14.02 m ²	-	-
EXISTING OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1074.12 m ²	38.93 m ²
DECREASED OVERSHADOWING (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.13 m ²	4.54 m ²
INCREASED OVERSHADOWING (ADDITIONAL m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	260.14 m ²	96.45 m ²
OVERSHADOWING EXISTING & INCREASED (m ²)	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	0.00 m ²	1334.26 m ²	135.38 m ²

NOTE: REFER TO FLOOR PLANS FOR APPROXIMATE LOCATION OF POS AREAS TO 105 - 107 BEACH STREET.

Subject to Council approval and any other conditions of approval. All other conditions of approval are subject to Council approval. All other conditions of approval are subject to Council approval. All other conditions of approval are subject to Council approval.

Rev	Date	Desc	Value
1	11/03/2022	COUNCIL PM ISSUE	

KEY

- LINE OF ENDORSED SCHEME
- - - LINE OF ENDORSED SCHEME (AREA TO COMPLY WITH MELBOURNE WATERFLOOD ADVICE SOIL PLOT 3.0-4M3)
- ADDITIONAL SHADOW RESULTING FROM PROPOSED SCHEME
- REDUCED SHADOW RESULTING FROM PROPOSED SCHEME
- SHADOW TO PEDESTRIAN AREA
- SHADOW TO ROAD AREA

TOWN PLANNING

Project: 105 BEACH STREET PORT MELBOURNE Project No: 21501

LURCON

Title: WINTER SOLSTICE SHADOW DIAGRAM 1400

Scale @A1: 1:250

Drawn By: TH

Date: 20/09/2022

Rev: 1

Dep File: TP - 700

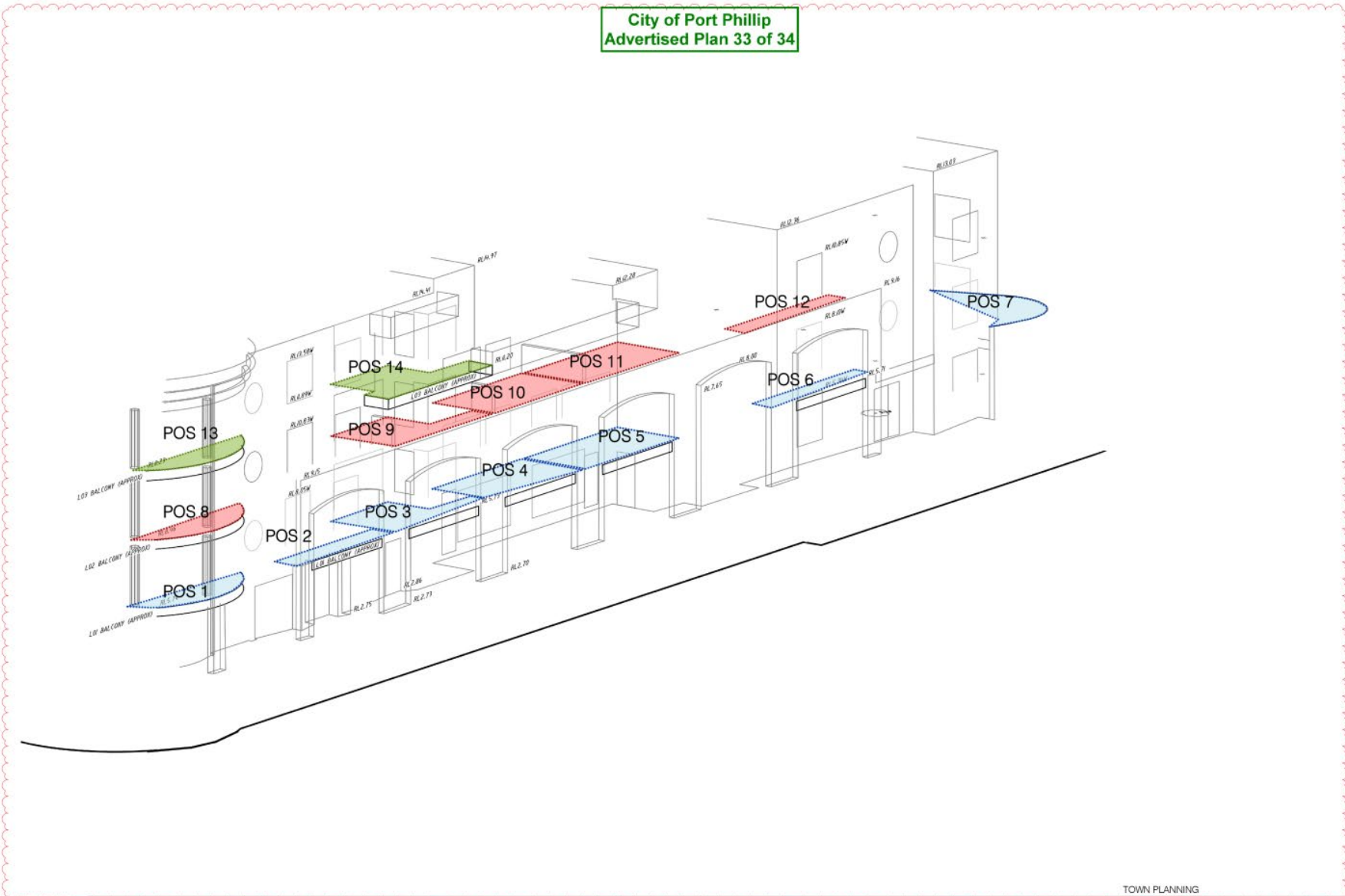


carr

Level 5
111 Rye Lane
Melbourne VIC
3005 Australia

P: 03 9594 6300
C: 03 9594 6300
M: 03 9594 6300
E: info@carr.com.au

City of Port Phillip
Advertised Plan 33 of 34



It is the responsibility of the applicant to ensure that all information provided is accurate and complete. The Council is not responsible for any errors or omissions. The Council reserves the right to refuse to issue a permit if the information provided is not accurate and complete. The Council reserves the right to refuse to issue a permit if the information provided is not accurate and complete. The Council reserves the right to refuse to issue a permit if the information provided is not accurate and complete.

Rev	Date	Desc	Issue
1	11/02/2022		COUNCIL PM ISSUE

TOWN PLANNING	
Project	103 BEACH STREET PORT MELBOURNE
Proposed No.	21501
Location	
Title	POS LOCATION - 103 BEACH STREET
Scale	@A1
Drawn By	BC
Date	11/02/2022
Rev	1

carr
 Level 4
 21501
 Melbourne VIC
 3000 Australia
 PO Box 1008
 Carlton South VIC
 3053 Australia
 +61 3 9606 2288
 info@carr.net.au
 carr.net.au

City of Port Phillip
Advertised Plan 34 of 34



ST01
STONE CLADDING
LIGHT COLOURED STACKED STONE
WALLS AND COLUMNS

CON1
CONCRETE TEXTURE FINISH
WHITE COLOURED
WALLS AND COLUMNS



GL - 1
GLAZING
CLEAR GLASS
WINDOWS / BALUSTRADES / SKYLIGHTS
*ALL WINDOWS TO BE DOUBLE GLAZING



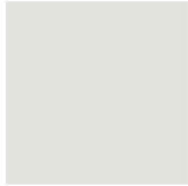
GL - 2
GLAZING
FROSTED GLASS
WINDOWS / SKYLIGHTS
*ALL WINDOWS TO BE DOUBLE GLAZING



TM - 1
TIMBER BATTENS
GREY TIMBER BATTENS
GROUND FLOOR



TM - 2
TIMBER BATTENS
GREY TIMBER BATTENS
GROUND FLOOR, LEVEL 1 AND LEVEL 2 SOFFIT



MT - 1
METAL PANEL
LIGHT COLOURED POWDERCOAT FINISH
DOOR / SERVICE CLIPBOARDS



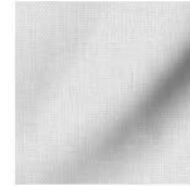
MT - 2
METAL PANEL
LIGHT COLOURED POWDERCOAT FINISH
DOOR / SERVICE CLIPBOARDS



MT - 3
METAL DECK ROOF
METAL DECK ROOF
LIGHT COLOURED POWDERCOAT FINISH
PERGOLA / BALUSTRADES



MT - 4
METAL
LIGHT COLOURED POWDERCOAT FINISH
WINDOW FRAMES



F01
FABRIC
RETRACTABLE CANVAS SHADE SAIL
LEVEL 3, LEVEL 4 AND ROOFTOP TERRACE



ST02
STONE
LIGHT COLOURED STONE
ROOF BALLAST

PAINTS, SEALANTS AND ADHESIVES - LOW VOC PRODUCTS WILL BE SPECIFIED AS STANDARD. REFER TO SMP REPORT FOR DETAILS.

TIMBER TO GROUND FLOOR AND SOFFIT TO BE RECYCLED TIMBER. 95% OF ALL TIMBER USED ON SITE WILL BE EITHER RECYCLED OR PLANTATION TIMBER.

ALL STRUCTURAL TIMBER MUST BE FROM A SUSTAINABLE SOURCE.

Builder / Contractor shall verify all dimensions before any work commences. Dimensions shown are nominal. Equal dimensions shall be provided to all trades & subcontractors. Any dimensions are to be made known to the architect. Designers shall provide any notes, clarifications, details, etc. to the architect. All dimensions shall be confirmed prior to construction. All dimensions shall be confirmed prior to the start of construction. © Carr Architecture 4261-01 989 655 335 © Carr Architects 4261-01 989 655 335

Rev	Date	GH1	Issue
1	11/03/2022		COUNCIL PM ISSUE

TOWN PLANNING

Project	103 BEACH STREET PORT MELBOURNE	Project No.	21001
Location	LURCON		
Title	MATERIALS SCHEDULE		
Scale	GH1	Draw No.	TP - 003
Drawn By	BC	Date	20/09/2021
Rev	1		

carr

Level 4
211 Collins Street
Melbourne VIC
3000 Australia
PO Box 1008
Collins Street East
Melbourne VIC
3000 Australia
+61 3 9606 2288
info@carr.net.au
carr.net.au