

# 1-7 Waterfront Place, Port Melbourne Landscape Architecture Town Planning Report





We acknowledge the Wurundjeri  
Woi Wurrung people as the  
Traditional Custodians of this place.

We honour Elders past and present,  
whose profound knowledge systems  
can teach us much about how we  
care and design for Country.

Prepared by

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Prepared for

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# Contents

<b>1.0 Analysis</b>	<b>5</b>	<b>4.0 Planting</b>	<b>43</b>
1.1 City Context	6	4.1 Planting - Ground Level	44
1.2 Site Context	8	4.2 Planting - Level 1	45
1.3 Existing Tree Plan	10	4.3 Planting - Level 2	46
<b>2.0 Landscape Design</b>	<b>11</b>	4.4 Planting - Level 3	47
2.1 Design Approach	12	4.5 Planting Precedent Image	48
2.2 Design Principle	13	4.6 Planting Palette	49
2.3 Lanscape Sketch Plan	14	4.7 Plant Schedule	51
2.4 Design Concept	15	4.8 Typical Detail	52
2.5 Landscape Plan - Ground Level	16	4.9 Maintenance	53
2.6 Landscape Plan - Waterfront Place	17		
2.7 Landscape - Private Garden / Eastern Parklet	18		
2.8 Landscape Plan - Port Cochere	19		
2.9 Landscape Plan - Level 1 Sketch	20		
2.10 Landscape Plan - Level 1	21		
2.11 Landscape Plan - Level 2	22		
2.12 Landscape Plan - Level 3	23		
2.13 Section	24		
2.14 View / Elevation	28		
<b>3.0 Materials</b>	<b>39</b>		
3.1 Paving - Ground Level	40		
3.2 Paving - Precedent Images	41		
3.3 Material Palette - Paving & Hard Landscape	42		



## Introduction

Located at the prestigious address of 7 Waterfront Place, Port Melbourne, this site occupies a prime position along the Port Phillip Bay waterfront, a location cherished by both locals and tourists for its stunning beach views and vibrant maritime character.

The area is anchored by the iconic Beacon Cove, a popular destination for visitors, and the historic Station Pier, which serves as a hub for cruise ships, reflecting the precinct's deep connection to Melbourne's maritime heritage.

The proposed luxury mixed-use tower is designed to embrace its surroundings, offering breathtaking south-facing views of the bay while seamlessly integrating with the dynamic urban fabric. The project envisions activating the ground plane with retail and office spaces, street seating, outdoor dining, and a lush green laneway, creating a welcoming and vibrant public realm that fosters connectivity, leisure, and engagement within this thriving waterfront community.









1.1 City Context

Port Melbourne, a bayside suburb located just 3 km southwest of Melbourne's CBD in the City of Port Phillip, is known for its scenic waterfront and vibrant community. Its iconic esplanade, lined with majestic Phoenix canariensis (Canary Island Date Palms), offers stunning views over Port Phillip Bay. The area's beach not only serves as a popular recreational spot but also provides vital habitats for indigenous vegetation and wildlife, with its dunal areas and protected reserves featuring native grasses and plants.

Port Melbourne boasts excellent connectivity through public transport and well-used shared pathways, reflecting the active lifestyle of its residents. Bay Street, the suburb's main retail precinct, links Port Melbourne to the CBD and is a lively hub for high-street shopping, pubs, restaurants, and cafés.

Historically significant, Port Melbourne was home to Melbourne's first train station, opened in 1854, which served passengers and immigrants traveling from Station Pier to Flinders Street Station. Today, Station Pier remains a gateway for visitors arriving by sea on cruise ships.

Beacon Cove, a major redevelopment by Mirvac from 1996 to 2004, transformed a former industrial site into a masterplanned residential precinct with tree-lined streets, green spaces, and a vibrant esplanade. The subject site, once part of the Beacon Cove development, is located at the southeast corner, overlooking the picturesque Port Phillip.

Legend

A	Sandridge Beach
B	Princes Pier
C	Garden City Reserve
D	Beacon Cove
E	Beacon Cove Esplanade
F	Station Pier
G	Beach Reserve
H	Bay Street
I	Lagoon Pier
	Tram Route 109
	Share Path / Public Access
	Parks and Reserves
	Site







- |                          |                  |
|--------------------------|------------------|
| 1. Station Pier          | 5. Tram Terminus |
| 2. Port Melbourne Beach  | 6. Bay Street    |
| 3. Lagoon Pier           |                  |
| 4. Beacon Cove Esplanade |                  |



1.2 Site Context

The site, on the northern edge of Station Pier, is a key gateway to the pier precinct, the terminus of Melbourne’s bayside beaches, and the endpoint of a major linear open space. Bounded by Waterfront Place to the south, Beach Street to the north, and the heritage-listed Port Melbourne light-rail station to the west, it currently features mostly vacant former health club buildings.

The northern edge adjoins low to medium-density housing, with Beach Street lined by Phoenix canariensis (Canary Island Date Palms) and Washingtonia robusta (Washington Palms). Similar palm plantings continue along Waterfront Place to the south, which also houses a car park for Spirit of Tasmania Ferry services. The south-east corner faces Port Phillip Bay, featuring two large Washingtonia robusta palms.

The western edge is defined by the historic light-rail station, the terminus of the former rail link to Flinders Street, now part of Tram Route 109.



Legend	
A	Tram Terminus
B	Beacon Cove Gateway Roundabout
—	Tram Route 109
...	Bike Lane /Share Path
→	Pedestrian Connection
- - -	Site







- |                                 |                      |
|---------------------------------|----------------------|
| 1. Beacon Cove Entry roundabout | 4. 109 Tran Terminus |
| 2. Out of Park Square St.       | 5. Waterfront Place  |
| 3. Beach St.                    | 6. Beach St          |



1.3 Existing Tree Plan









## 2.1 Design Approach

This design creates a welcoming green corridor that blends functionality with beauty, enhancing both the community and the environment.

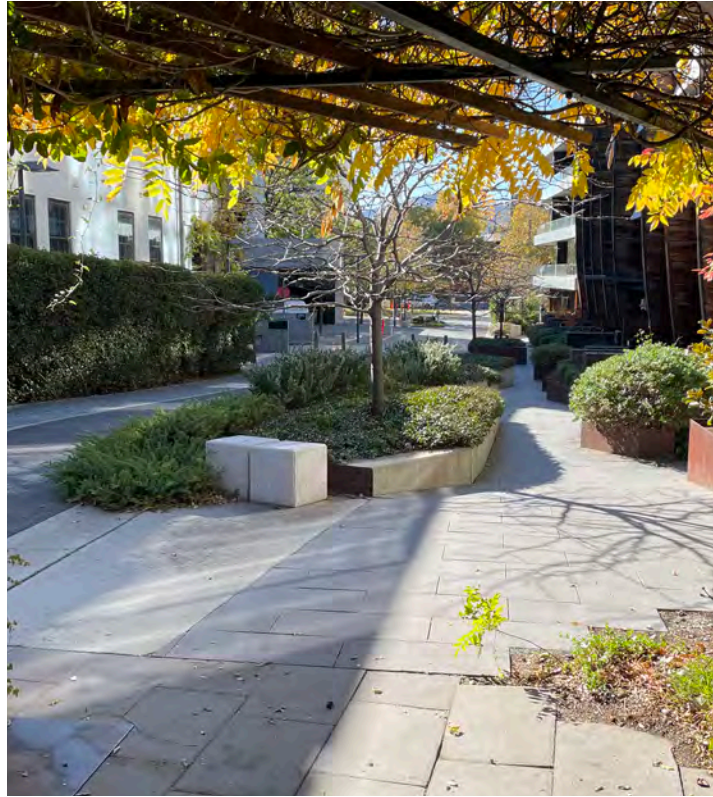
Small garden moments with integrated seating are thoughtfully designed to offer tranquil spaces for rest and relaxation, while designated areas for outdoor dining bring vibrancy and social interaction to the laneway.

Strategically placed trees frame key views, creating visual connections to the surrounding landscape, including captivating glimpses of Port Phillip Bay, fostering a sense of place and orientation.

The trees provide shade, comfort, and seasonal interest, enriching the user experience while improving the urban micro climate.

Locally inspired stone is used as the primary material, reflecting the region's character and heritage while offering durability and a timeless aesthetic.

This design creates a harmonious space that balances nature, community, and context, transforming the laneway into a functional, inviting destination connecting people, the city, and the bay.

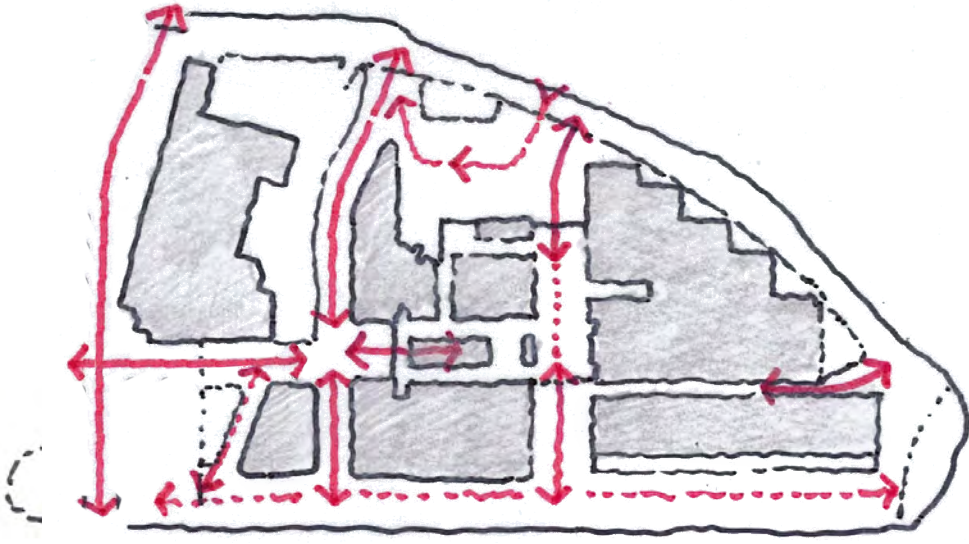




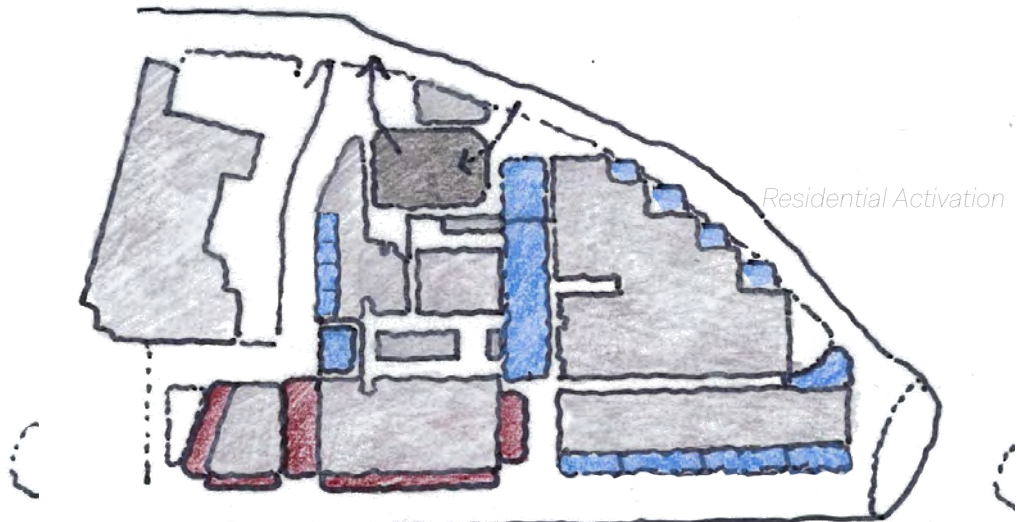
2.2 Design Principles



Sequence of Green Spaces



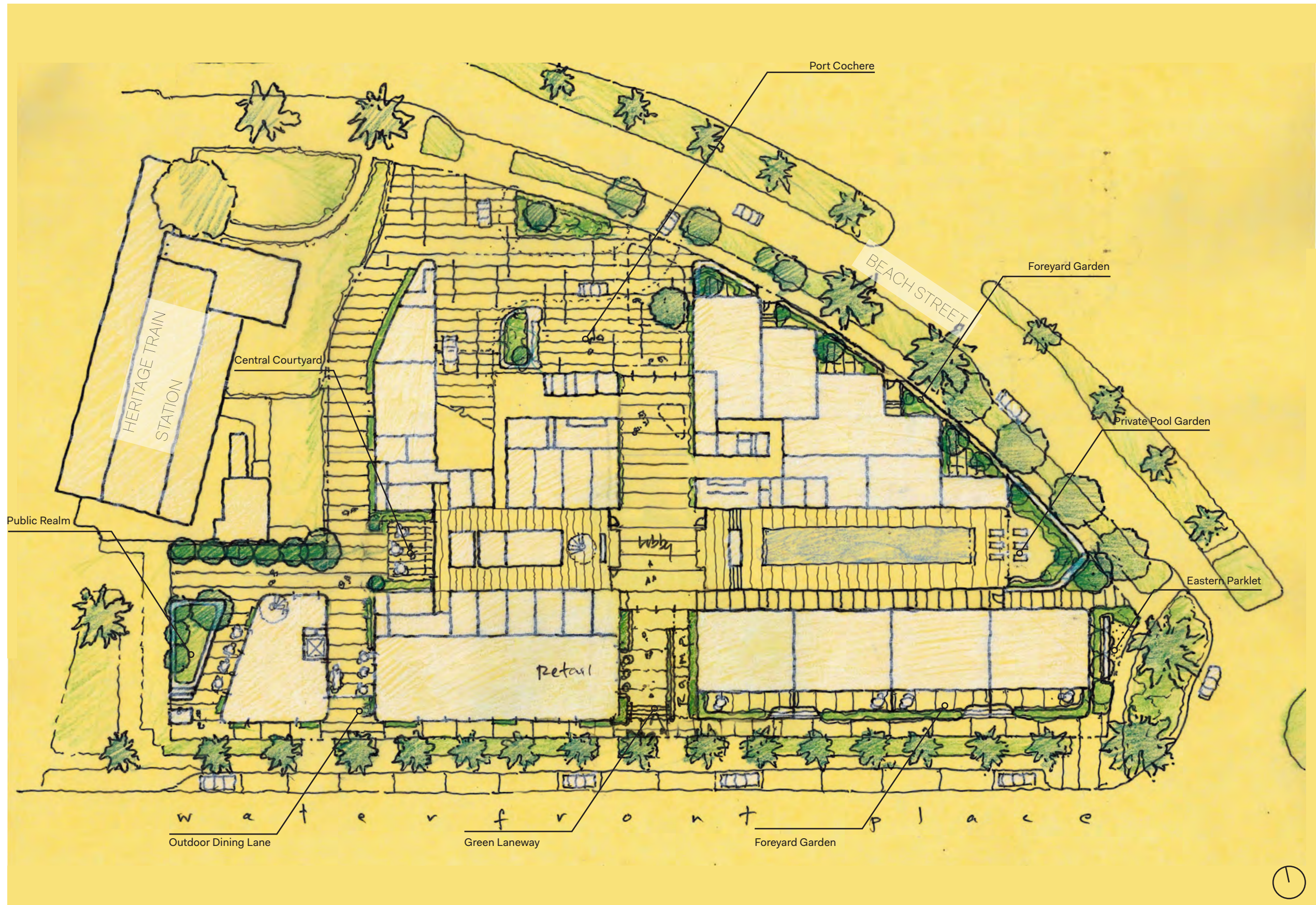
Connected



Activation



2.3 Landscape Plan - Ground Floor Sketch Plan





2.4 Design Concept

LEGEND

Waterfront Place

-Existing Palm Trees

-Coastal Landscape

-Main Street Interface

Beach St Interface

-North Facing

-Residential Scale

-Townhouse Garden Frontages

Eastern Public Space

-Attractions and Rest Zone

-Inviting Spcae for Public

-The Green Gateway

Green Laneway

-Public Courtyard Space

-Outdoor Dining / Street Furnitures

-Gathering / Resting Zone

Pedestrian Links

-New Public Path Vonnexion

-Built-in Seatings

-Adjacent Heritage Train Station and Tram Terminus

General circulation

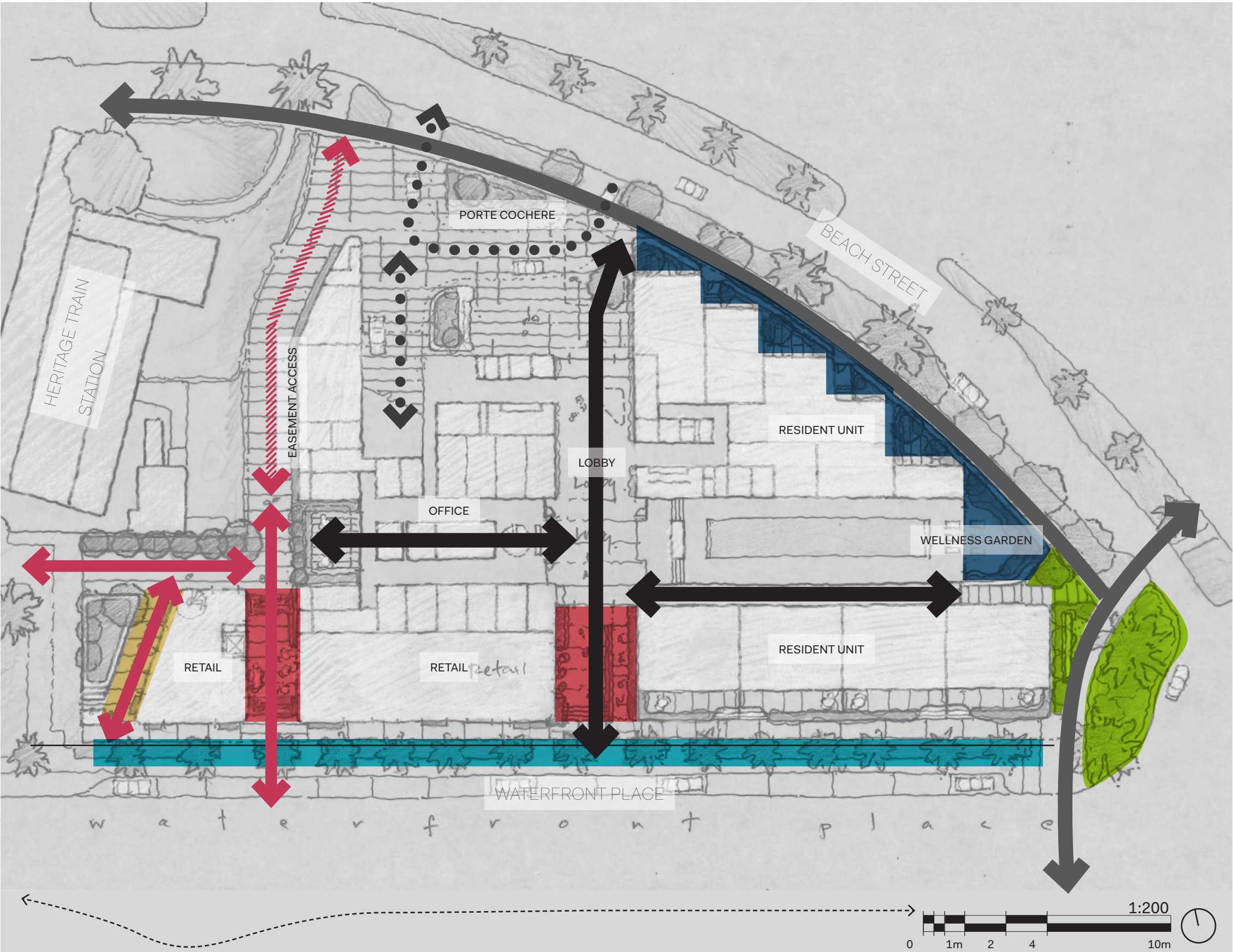
Proposed Public circulation

Easement Access

Vehicle Access

Residents only Access

Bike / Shared Pathv





2.5 Landscape Plan - Ground Level

The ground floor design envisions a vibrant and inviting laneway, with lush greenery extending from Waterfront Place, complemented by an outdoor dining area and retail pavilion. This will enhance the appeal of the historic train terminus, drawing visitors further into the precinct.

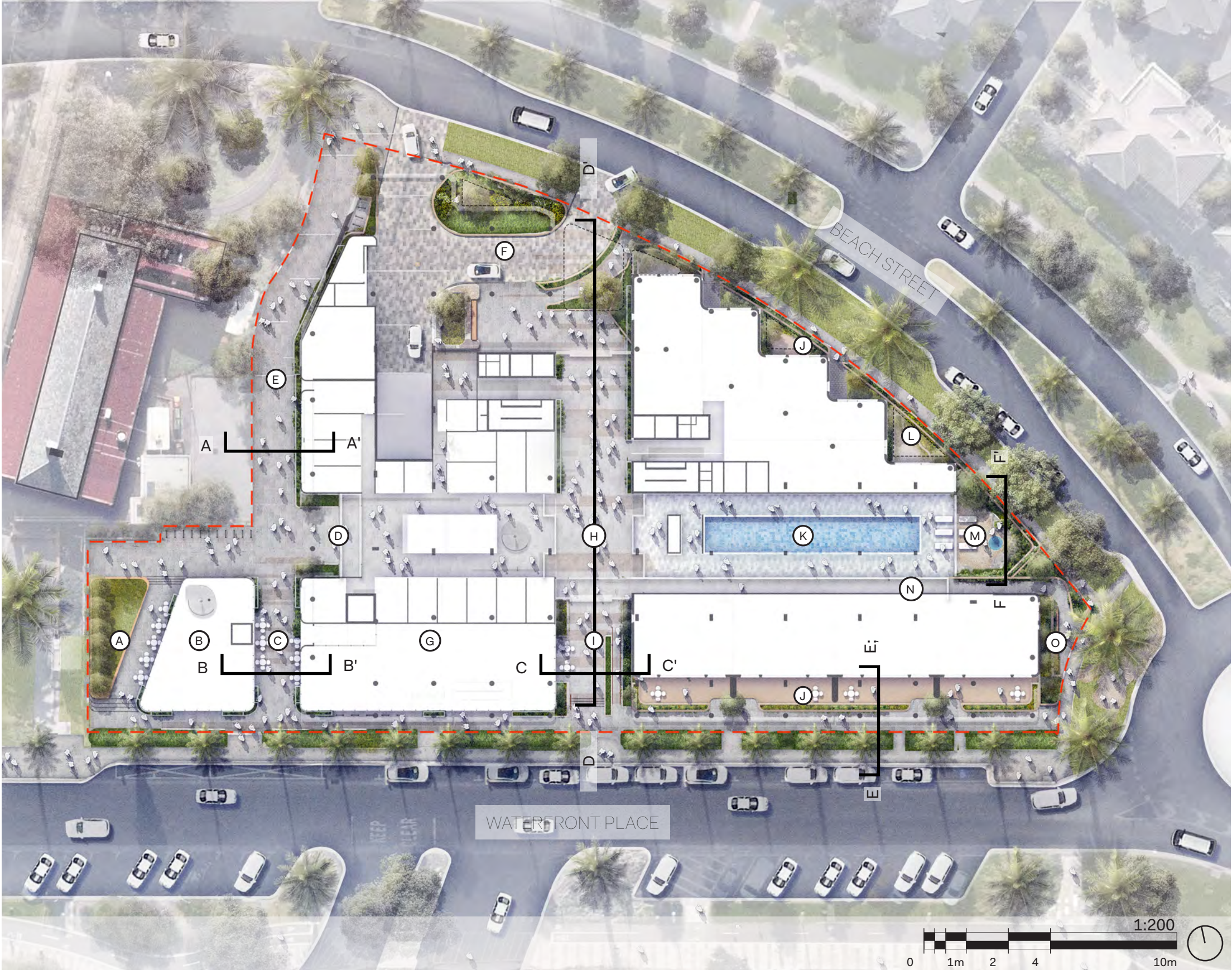
The central laneway will provide a north-to-south connection, offering a quiet, green, and enclosed resting space on its southern side.

The porte-cochère on Beach Street will feature palm trees and beautifully shaped plants, creating a luxurious atmosphere for the building.

Additionally, the ground-level resident foreyard will be heavily planted with shore environment species, ensuring privacy while maintaining the site's connection to its coastal setting.

Wind is a significant factor on this site, and the design will incorporate recommendations from the wind engineer to ensure a comfortable and resilient environment.

Legend	
A	Public Realm
B	Retail Pavilion
C	Outdoor Dining Lane
D	Central Courtyard
E	North - South Link
F	Porte Cochere
G	Retail Space
H	Lobby
I	Green Laneway
J	Foreyard Garden
K	Swimming Pool
L	Private Wellness Garden
M	Private Pool Garden
N	East-West Access
O	Eastern Parklet
[Red dashed line]	Site Boundary

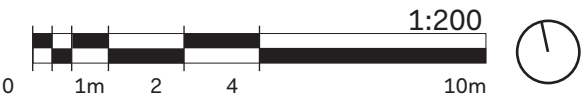




2.6 Landscape Plan - Waterfront Parade




Legend	
A	Private Terrace
B	Productive Garden
C	Laneway Dining Space
D	Ramp Access
E	Raised Planter
F	Bike Parking
G	Foryard Garden
[Red dashed line]	Site Boundary

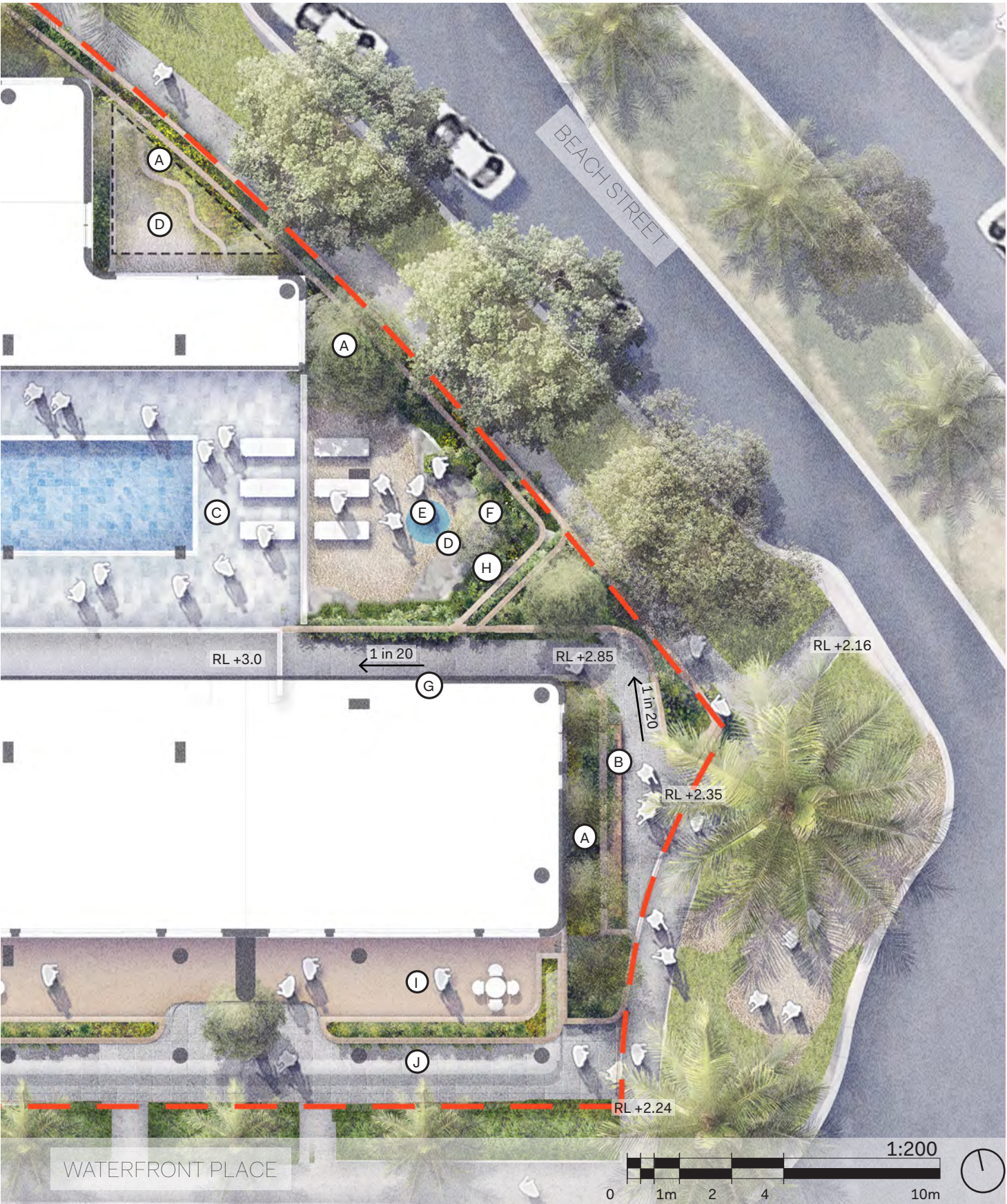




2.7 Landscape Plan - Private Gardens / Eastern Parklet

Legend

A	Deep Soil Planting
B	Bench Seating
C	Tile Paving
D	Gravel Paving
E	Water Feature
F	Circular Seats
G	Ramp Access
H	Deep Soil Planting
I	Foreyard Garden
J	Blue Stone Paving
	Site Boundary

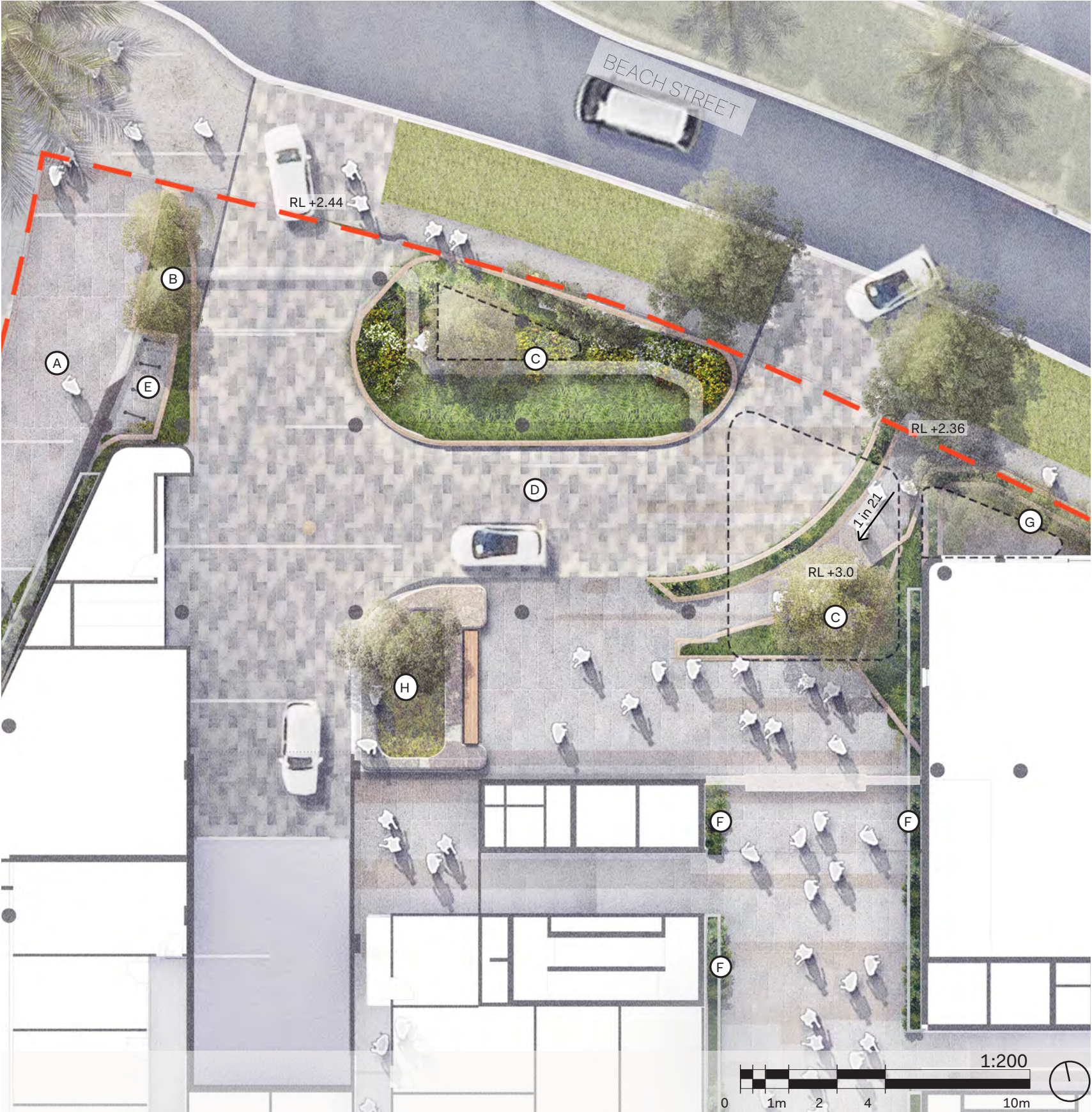




2.8 Landscape - Port Cochere

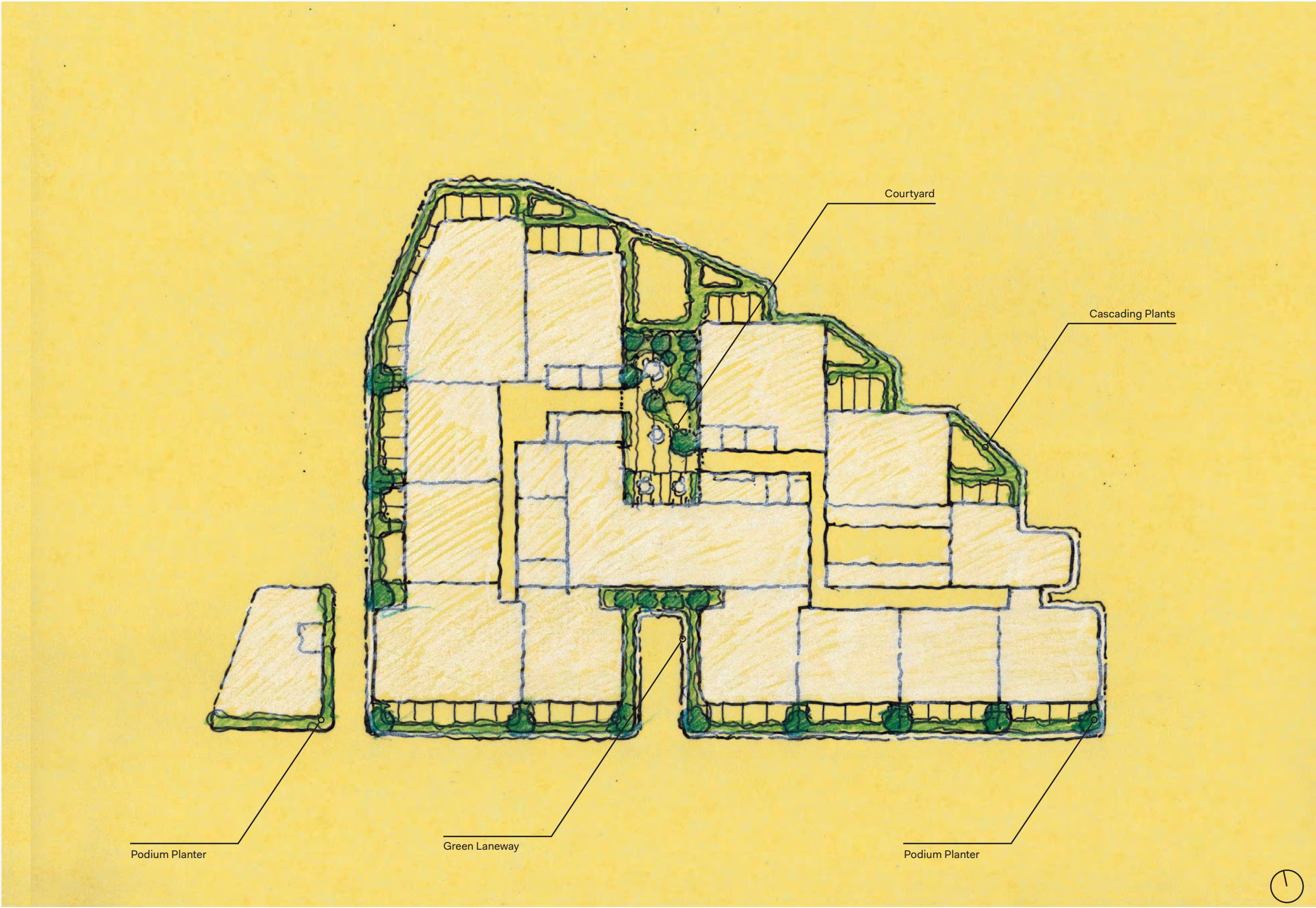
Legend

A	Easement Access
B	Deep Soil Planting
C	Raised Planter
D	Drive Way
E	Bike Parking
F	Indoor Planters
G	Foreyard Garden (Deep Soil)
H	Raised Planter / Seats
[Red dashed line]	Site Boundary





2.9 Landscape Plan - Level 1 Sketch Plan





# 2.10 Landscape Plan - Level 1


The landscape above the ground floor includes edge planters, a courtyard, and green roofs.

A wide planter located above the green laneway will provide additional space for vegetation, extending the greenery of the laneway.

At the northern edge, planters are designed around circular openings, creating a halo-like effect. Cascading plants from these planters will be visible from the ground level through the skylights, enhancing the visual connection between levels.

Balcony edge planting is proposed from Level 1 to Level 3, enriching the vertical greenery and contributing to the overall landscape character.

Legend

A	Podium Planter
B	Private Terrace
C	Courtyard
D	Cascading Planting
	Site Boundary





2.11 Landscape Plan - Level 2

Legend

A	Podium Planter
B	Private Terrace
[Red dashed line]	Site Boundary





2.12 Landscape Plan - Level 3

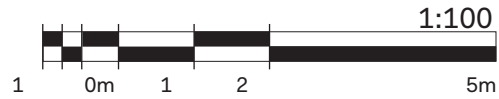
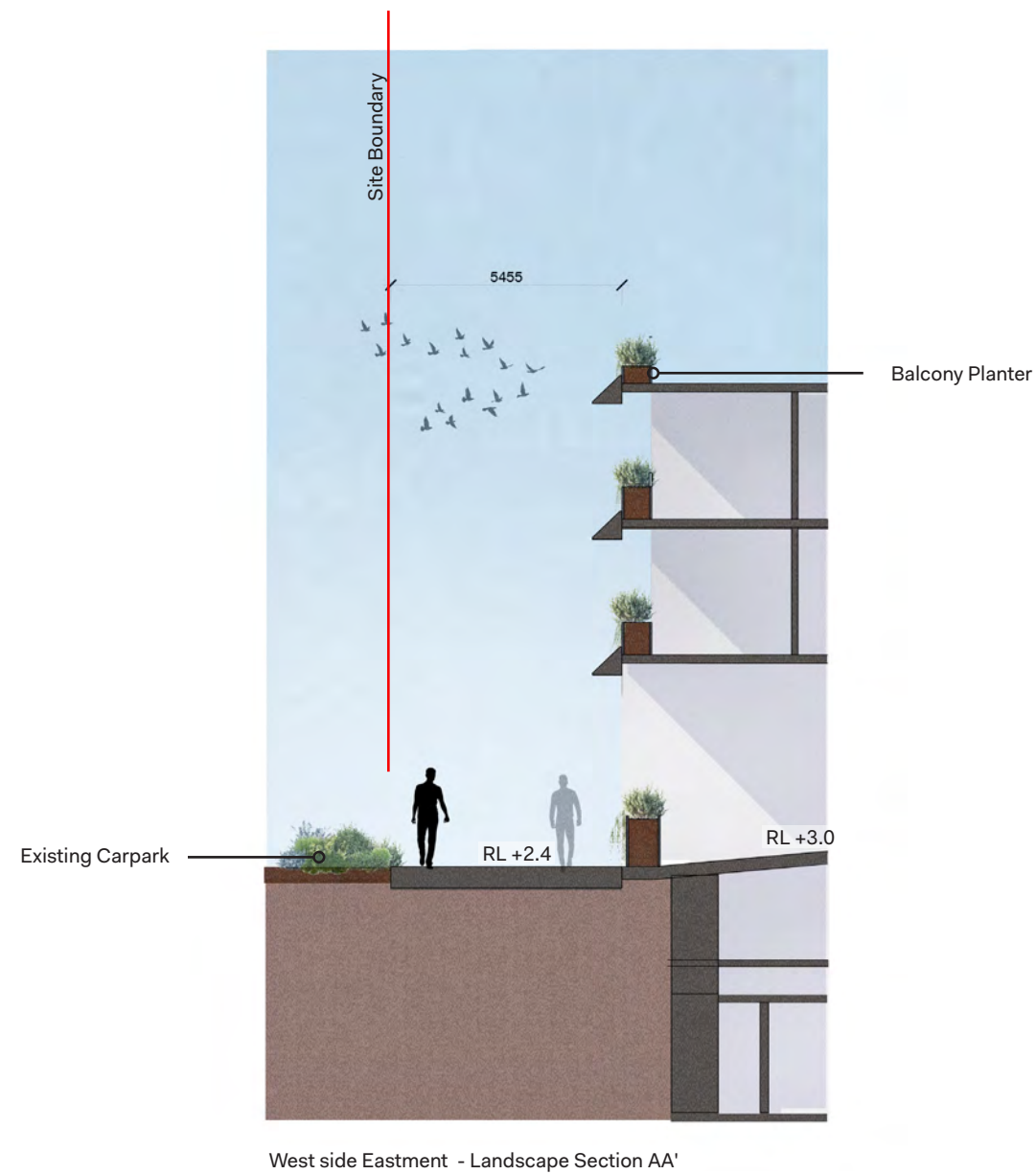
Legend

A	Podium Planter
B	Private Terrace
[Red dashed line]	Site Boundary

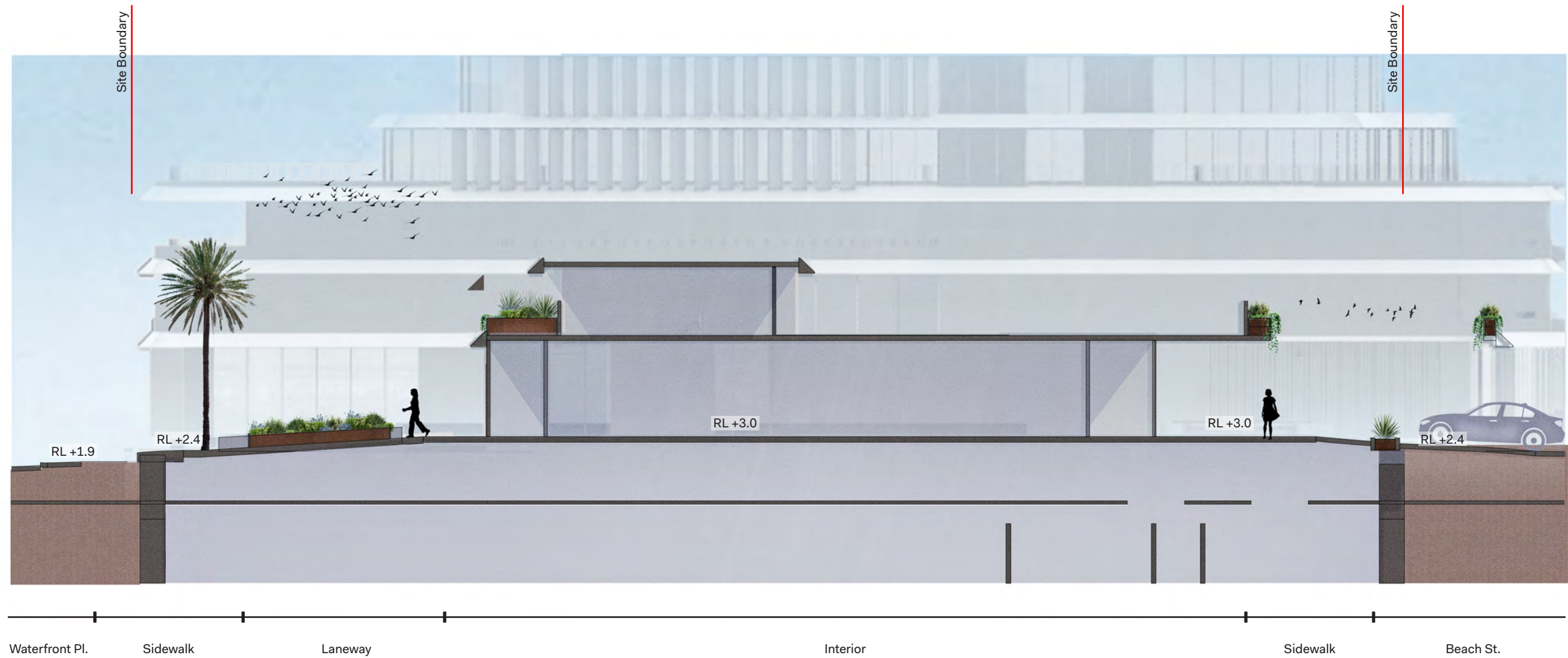




2.13 Sections

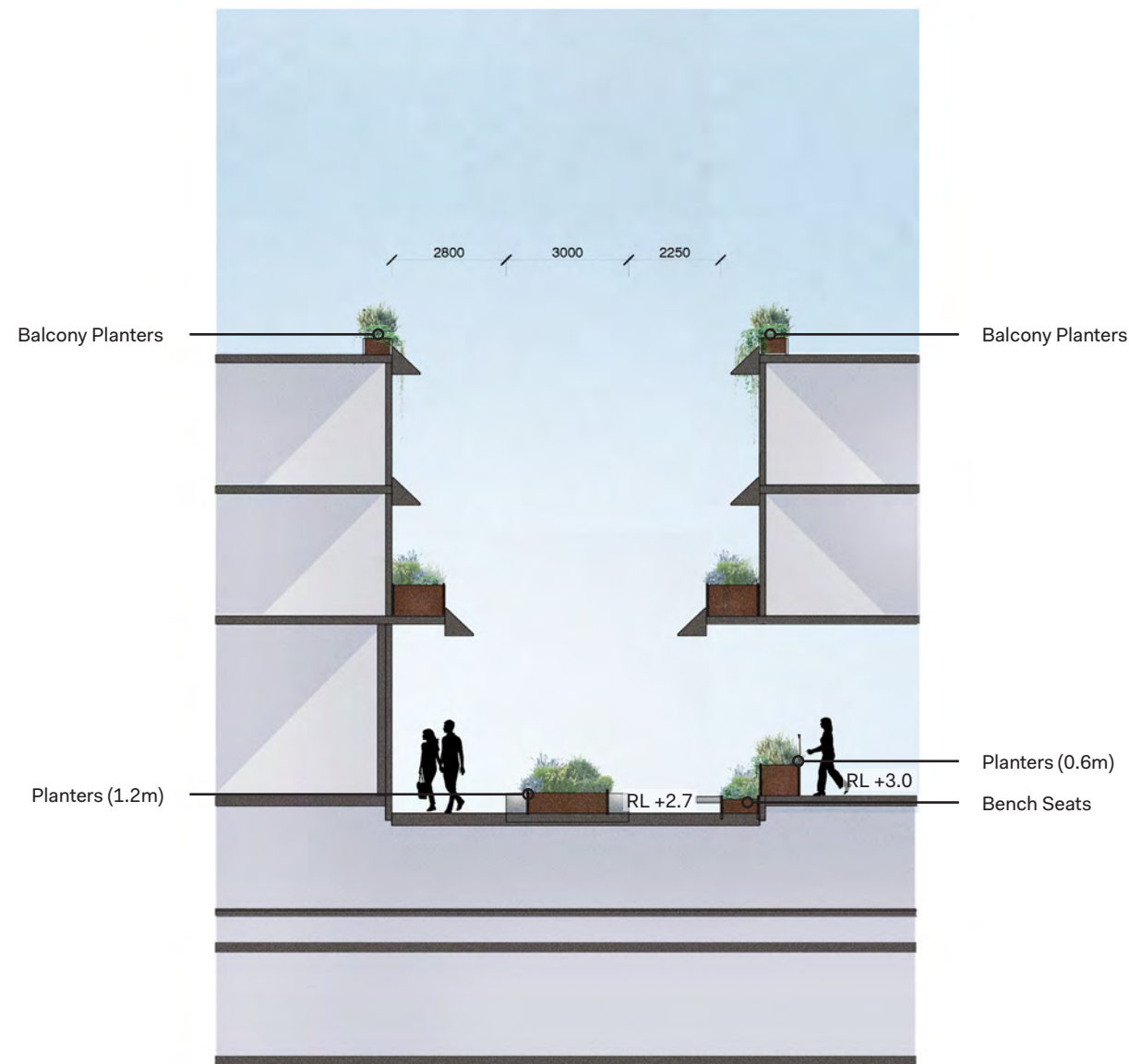




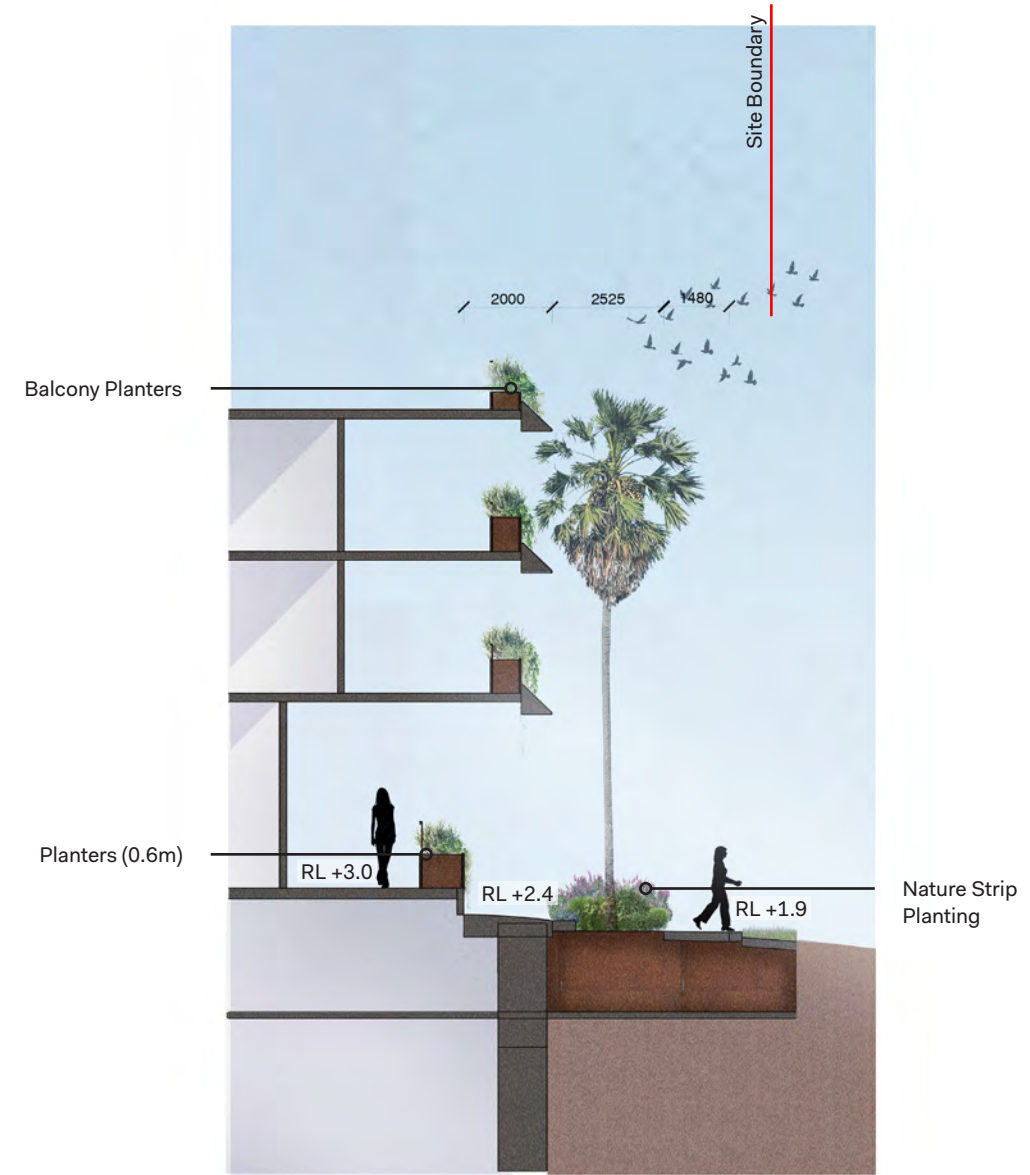


Main Green Laneway - Landscape Section DD'



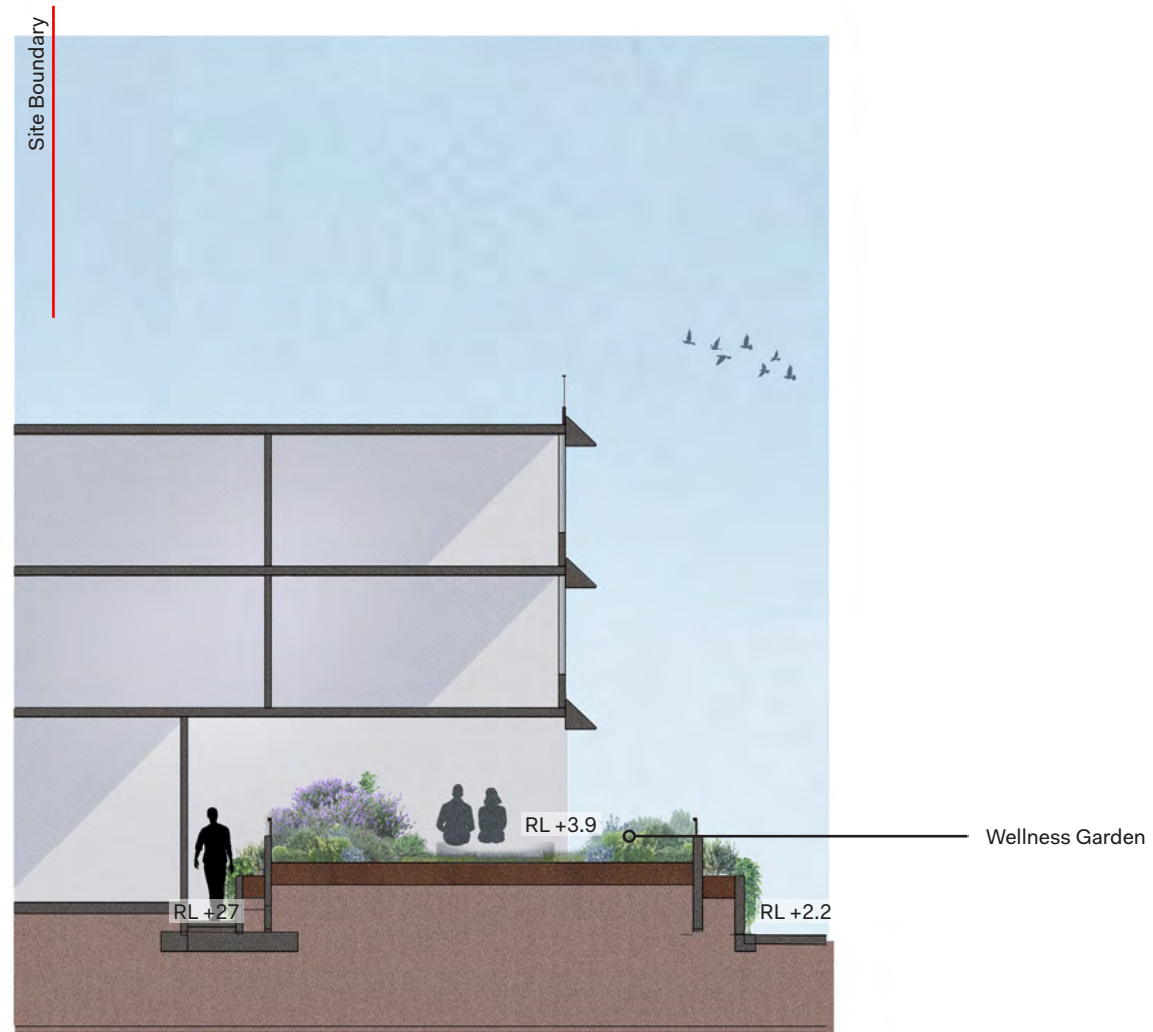


Green Laneway - Landscape Section CC'



Resident Foreyard - Landscape Section EE'





Pool Garden - Landscape Section FF'



2.14 Views

Outdoor Dining Laneway / Retail Space





Outdoor Dining Laneway  
South View









Porte-cochère View  
Way-in





Porte-cochère View  
Way-out













Waterfront Place Street View





Eastern Parklet / East Access View











Waterfront Place Elevation







### 3.1 Paving - Ground Level

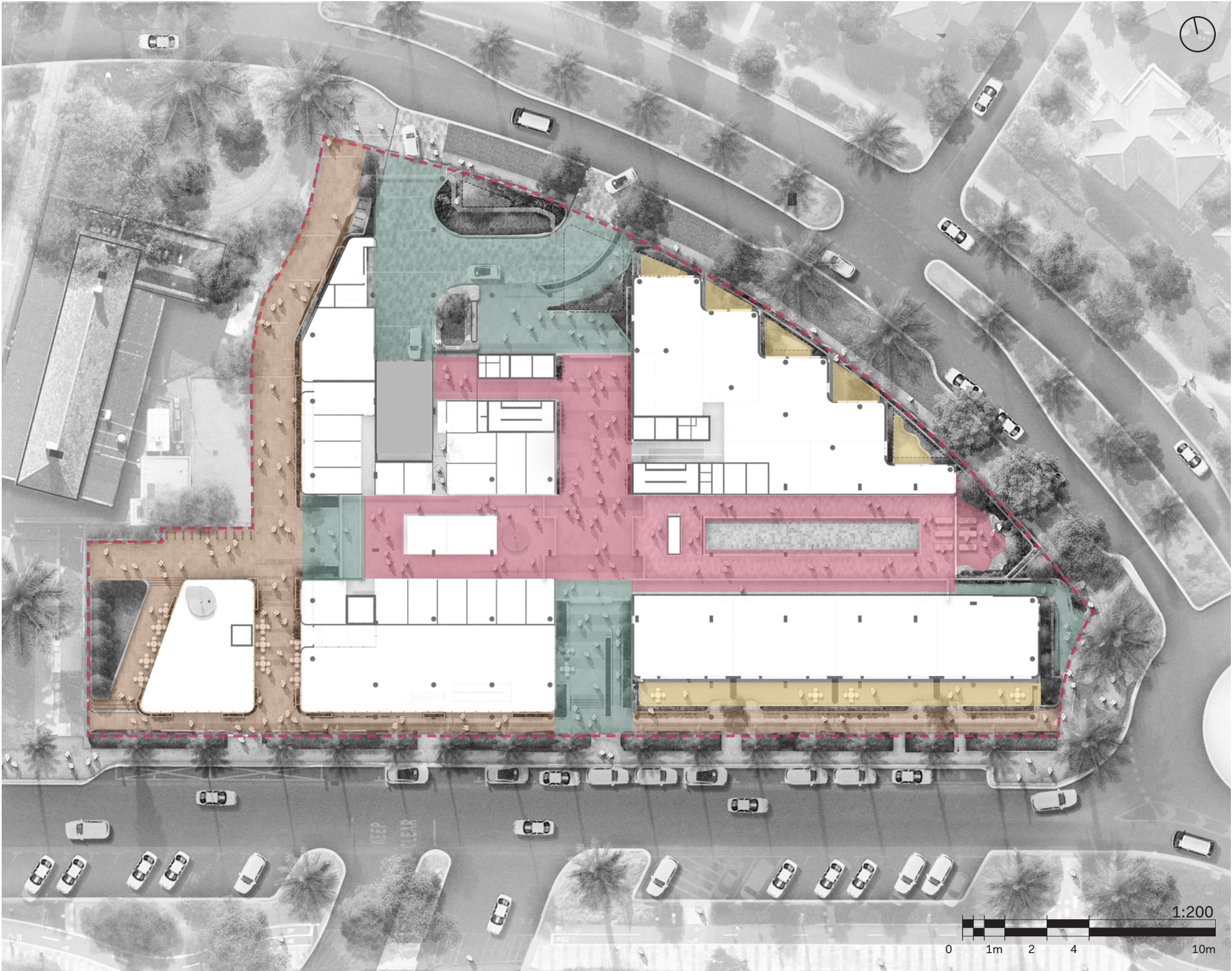
The material selections for the Ground Level landscape paving comprises a palette of different natural stone and precast concrete types.

Four different paving types/zones have been identified within the landscape based on a number of criteria, including location/typology, function/performance and public/private.

This approach to the landscape paving material selections aims to introduce diversity and hierarchy to each of the individual spaces identified whilst being complementary to each other and maintaining an overall sense of cohesion.

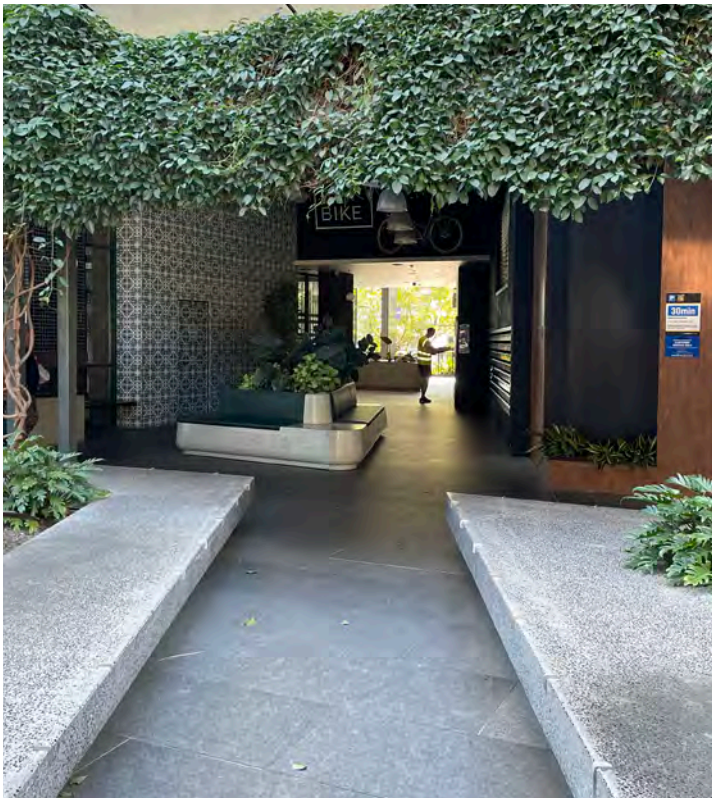
Legend

<div></div>	Paving Material 1
<div></div>	Paving Material 2
<div></div>	Paving Material 3
<div></div>	Paving Material 4





3.2 Paving- Precedent Images

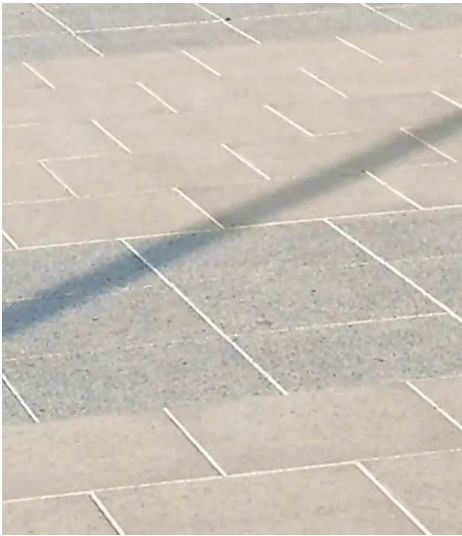




3.3 Material Palette - Paving & Hard Landscape



Paving



Wall



Seating



Hand Rail



Arbour Structure







# 4.1 Planting - Ground Level

The planting for the Ground Level landscape comprises a palette of both native and exotic species, utilising a selection of trees, shrubs and ground covers appropriate for use in the urban coastal location of the site and to the different types of spaces/growing conditions located within.

Four different zones have been identified for the planting design at Ground Level. Garden beds in the public spaces and central laneway will feature a mix of native plant species to planters and centre of these spaces. Planting adjacent to the residential balconies/terraces to the south and north of the project is intended to provide screening and enhance the privacy of residents. The Wellness Garden and Eastern parklet will contain plants with more vibrant colors and textures to visually punctuate this corner of the site. In the porte-cochere, the planting design is intended to be more open with the opportunity for tree and understorey planting, in response to the existing street scape on Beach Street to maintain visual consistency through the planting design. A productive garden of approximately 70 sqm. is located to the south-west corner of the site.

The plant selection and detailed planting design for the Ground Level will be developed further in the upcoming design stages of the project.

All garden beds and planting types are to include an automated irrigation system (to be used from installation, throughout and following the establishment period). The irrigation system will be connected to rainwater tank and will also include moisture sensors to minimise water usage. The irrigation design is to be prepared by an Irrigation consultant.

Legend

<div></div>	Deep Soil Zone
<div></div>	Raised Planter
<div></div>	Indoor Raised Planter
<div></div>	Productive Garden
<div></div>	Climbing Plant Trellis
<div></div>	Site Boundary





# 4.2 Planting - Level 1

The planting approach for Level 1 is similar to that proposed for the Ground Level and Levels 2-3 of the building. We intend to utilise a mix of both native and exotic shrubs, groundcovers and climbing/cascading plants across the podium planters to the north, west and south and also above the central laneway (north and south), the roof of the retail building to the west of the site and within the raised planters of the central Podium Garden.

The plant selection and detailed planting design will be developed further in the upcoming design stages of the project.

Legend

Podium Garden

Balcony Planter



4.3 Planting - Level 2

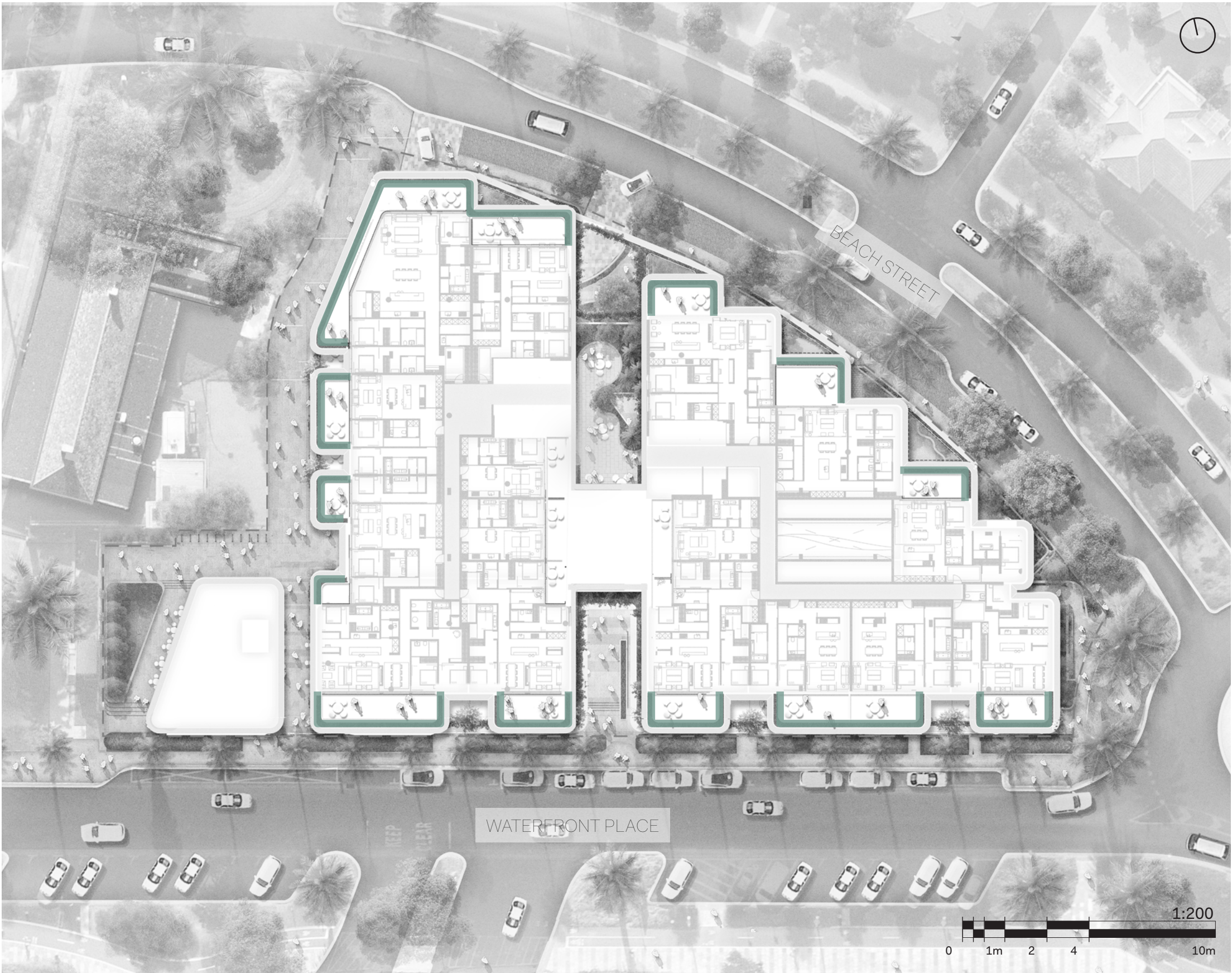
The planting extents for Level 2 consists of a series of podium planters to the north, west, south and central laneway facades. The proposed plant palette will be comprised of a combination of groundcover and climbing/cascading species.

The plant species selection and detailed planting design will be developed further in the upcoming design stages of the project.

Legend

Balcony Planter

Site Boundary

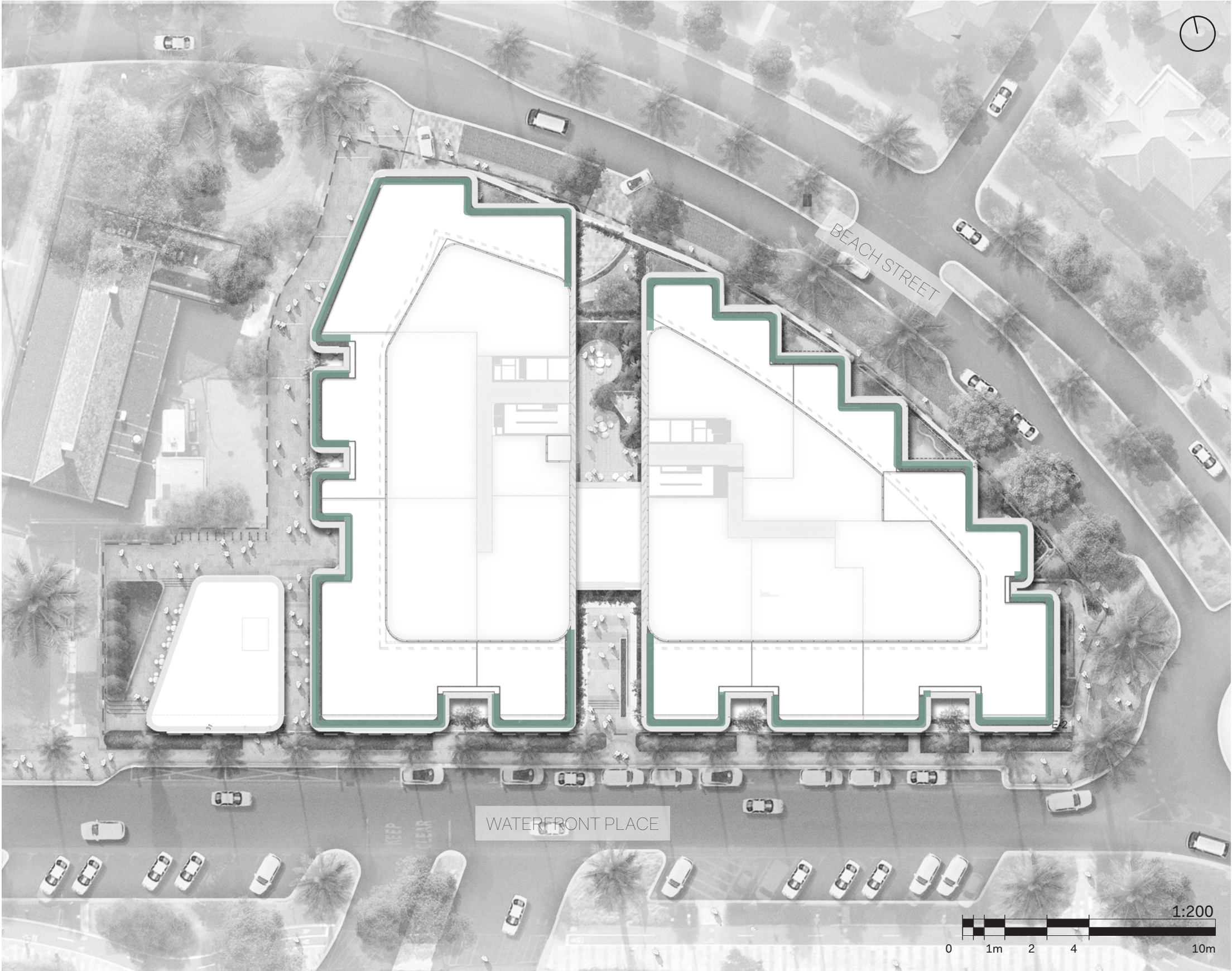




# 4.4 Planting - Level 3

Matching the design intent for Level 2 of the building the Level 3 planting scopes also consists of a series of podium planters to the north, west and south facades, creating a continuous green edge to the building perimeter. The proposed plant palette will be comprised of a combination of groundcover and climbing/cascading species.

The plant species selection and detailed planting design will be developed further in the upcoming design stages of the project.



**Legend**

	Balcony Planter
	Site Boundary



4.5 Planting - Precedent Images





4.6 Plant Palette



*Agave attenuata*



*Anigozanthos* sp.



*Asparagus densiflorus*



*Atriplex cinerea*



*Banksia integrifolia*



*Banksia marginata*



*Brachyscome* sp.



*Carpobrotus rossii*



*Correa alba*



*Cupaniopsis anacardioides*



*Dichondra argentea* 'Silver Falls'



*Dichondra repens*



*Echium candicans*



*Festuca glauca*



*Ficinia nodosa*



*Ficus hillii*



*Gazania* sp.



*Hardenbergia violacea*





*Kennedia prostrata*



*Kumara plicatilis*



*Leucophyta brownii*



*Lomandra* sp.



*Myoporum parvifolium*



*Olea europaea*



*Phoenix canariensis*



*Plectranthus argentatus*



*Poa ensiformis*



*Poa labillardieri*



*Rhagodia spinescens*



*Rosemarinus officinalis*



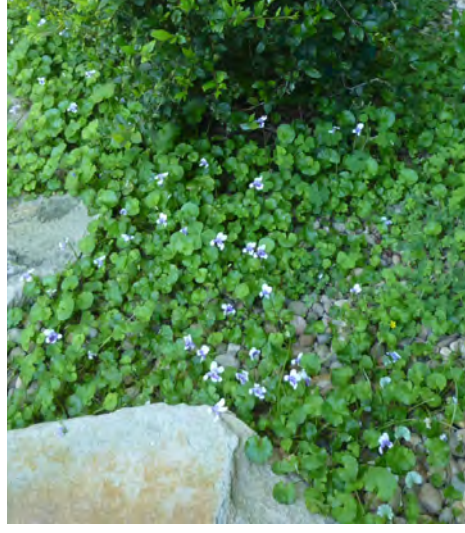
*Senecio mandraliscae*



*Strelitzia reginea*



*Trachycarpus fortunei*



*Viola hederacea*



*Westringia fruticosa*



*Zamioculcas zamiifolia*



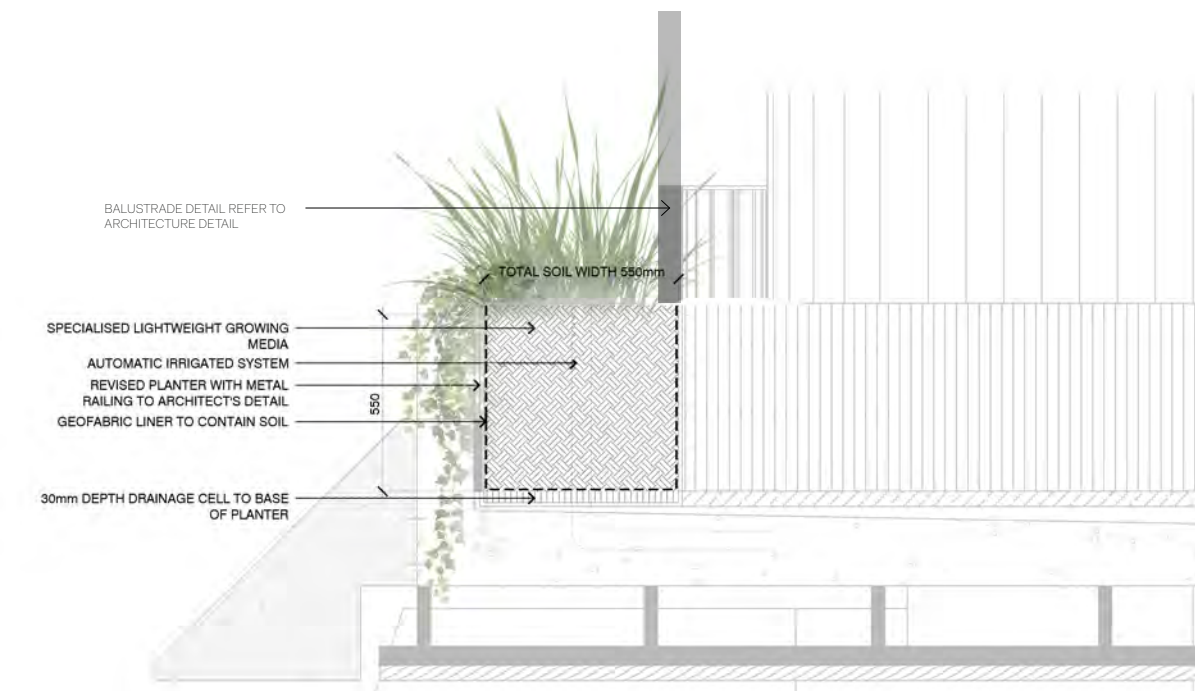
4.7 Plant Schedule

BOTANICAL NAME	COMMON NAME	MATURE SIZE (M)	INSTALLATION SIZE	DENSITY (PLANTS/SQM.)
<i>Agave attenuata</i>	Swan-neck Agave	0.8 x 1	300mm	4
<i>Anigozanthos</i> sp.	Kangaroo Paw	0.5 x 1.5	300mm	6
<i>Asparagus densiflorus</i>	Foxtail Fern	0.8 x 0.8	200mm	2
<i>Atriplex cinerea</i>	Coast Saltbush	1.5 x 1.5	300mm	2
<i>Banksia integrifolia</i>	Coast Banksia	3 x 10	40l	-
<i>Banksia marginata</i>	Silver Banksia	3 x 2m	40l	-
<i>Brachyscome</i> sp.	Cut-leaf Daisy	0.2 x 0.5	140mm	8
<i>Carprobrotus rossii</i>	Pigface	0.2 x 1.5	200mm	2
<i>Correa alba</i>	White Correa	1 x 1	200mm	4
<i>Cupaniopsis anacardioides</i>	Tuckeroo	8 x 5	200l	-
<i>Dichondra argentea</i> 'Silver Falls'	Silber Falls	0.2 x 1.5	140mm	4
<i>Dichondra repens</i>	Kidney Weed	0.1 x 1	140mm	4
<i>Echium candicans</i>	Pride of Madeira	1.5 x 2	300mm	1
<i>Festuca glauca</i>	Blue Fescue	0.3 x 0.3	140mm	8
<i>Ficinia nodosa</i>	Knobby Club-rush	0.5 x 0.3	140mm	8
<i>Ficus hillii</i>	Hill's Fig	10 x 5	200l	-
<i>Gazania</i> sp.	Gazania	0.2 x 0.3	140mm	6
<i>Hardenbergia violacea</i>	Native Sarsparilla	0.3 x 2	140mm	2
<i>Kennedia prostrata</i>	Running Postman	0.1 x 2	200mm	2
<i>Kumara plicatilis</i>	Fan Aloe	1.5 x 1.5	300mm	2
<i>Leucophyta brownii</i>	Cushion Bush	1 x 1	200mm	4
<i>Lomandra</i> sp.	Mat-rush	0.7 x 0.7	140mm	6
<i>Myoporum parvifolium</i>	Creeping Boobialla	0.2 x 1.2	140mm	4
<i>Olea europaea</i>	Olive	7 x 5	40l	-
<i>Phoenix Canariensis</i>	Canary Island Date Palm	12 x 6	500l	-
<i>Plectranthus argentatus</i>	Silver Plectranthus	1 x 2	300mm	1
<i>Poa ensiformis</i>	Sword Tussock Grass	0.5 x 0.5	140mm	6
<i>Poa labillardieri</i>	Common Tussock Grass	0.3 x 0.6	140mm	6
<i>Rhaghodia spinescens</i>	Spiny Saltbush	1.5 x 2	300mm	2
<i>Rosmarinus officinalis</i>	Rosemary	0.6 x 0.9	300mm	2

BOTANICAL NAME	COMMON NAME	MATURE SIZE (M)	INSTALLATION SIZE	DENSITY (PLANTS/SQM.)
<i>Senecio mandraliscae</i>	Blue Chalk-Sticks	0.3 x 0.6	300mm	4
<i>Strelitzia reginea</i>	Bird of Paradise	1.8 x 1.2	500mm	2
<i>Trachycarpus fortunei</i>	Chusan Palm	7.5 x 2.5	200l	-
<i>Viola hederacea</i>	Native Violet	0.15 x 0.5	140mm	6
<i>Westringia fruticosa</i>	Coastal Rosemary	1 x 2	300mm	2
<i>Zamioculcas zamiifolia</i>	ZZ Plant	0.6 x 0.6	300mm	4



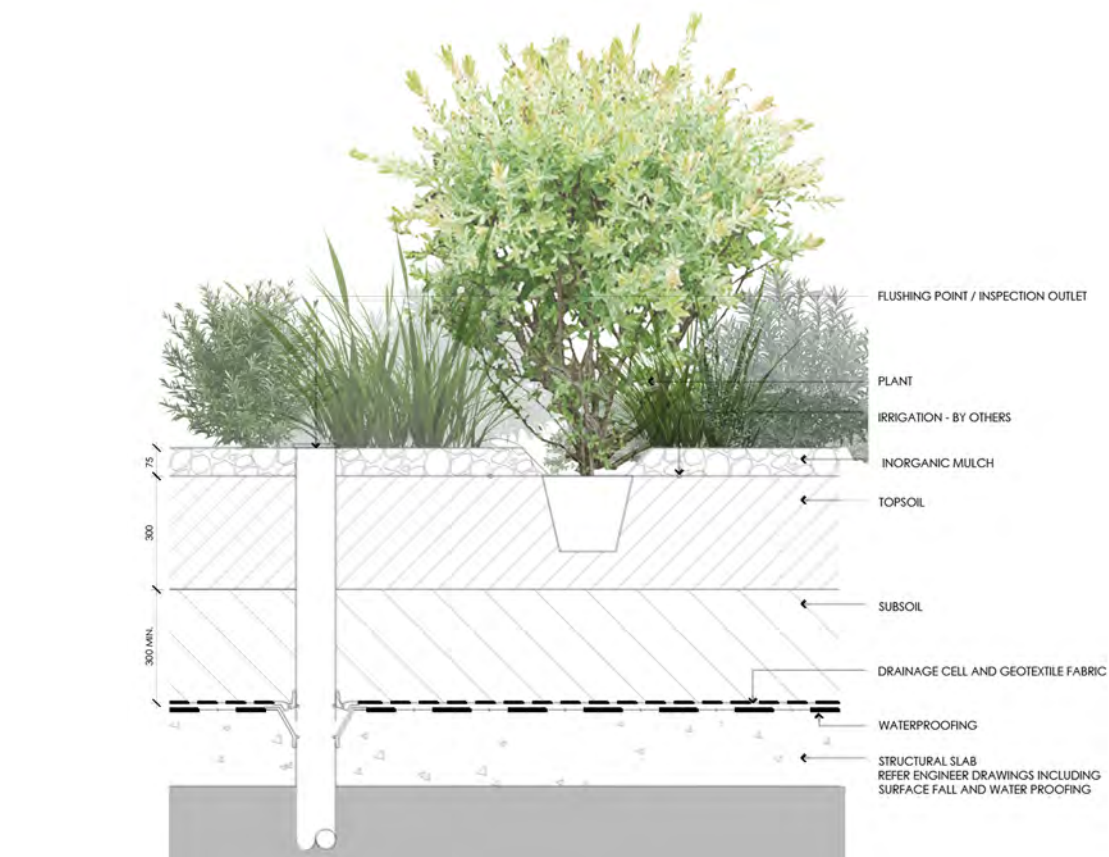
4.8 Typical Details



01. PODIUM EDGE PLANTER - TYPICAL DETAIL - 1:20



02. TOWER PLANTER - TYPICAL DETAIL - 1:20



03. PODIUM GARDEN BED - TYPICAL DETAIL - 1:20



4.9 Maintenance

Planting Strategy

The preliminary plant selection for the site will use a mix of species chosen for their aesthetic and performance qualities. The planting is intended to create character and identity and improve amenity.

Scale and Integration

- + Trees and landscape are proposed for integration within the fabric of the development to compliment, soften and frame the built form, ensuring that the visual impact to adjacent uses is appropriate. Tree species selection will allow for greening while maintaining visual permeability.

Planting Maintenance

The maintenance needs of any landscape are absolutely tied to the resolution of the design at a planning level. This proposal attempts to negotiate the desire for a verdant planted areas with the need to ensure that these plantings have longevity within a low-maintenance and where possible low water requirements environment. The proposal includes:

- + A strong palette of proven performing plants which are tolerant of low-water conditions or varying light levels;
- + A planting palette that utilises several species for each application ensuring seasonal change as well a consistent level of amenity should one of the species under perform;
- + Allowance for irrigation and maintenance of all external spaces.
- + Raised garden beds provide suitable soil depths and volumes for shrubs and trees. Trees numbers and species consider variable soil volumes. Garden beds are contiguous where possible. All garden beds are to be irrigated and mulched.

Irrigation

All garden beds and planting types are to include an automated irrigation system (to be used from installation, throughout and following the establishment period). The irrigation system will be connected to rainwater tank and will also include moisture sensors to minimise water usage. The irrigation design is to be prepared by an Irrigation consultant.

Indicative Planting Maintenance Regime

The Planting maintenance regime to be undertaken and is to include the following:

Plant Material

- + Check plants for health - min. Monthly during Establish Period, then twice per year
- + Replace Failed Plants - As required
- + Treat for Disease or insect attach - min. Monthly during Establish Period, then twice per year
- + Fertilising - min. twice per year
- + Fertilising for specific nutrient deficiencies - as required by soil tests
- + Thin Out Planting - as required
- + Pruning/ Trimming - min. twice per year
- + Check Plant Stability/ Support - min. Monthly during Establish Period, then twice per year

Soil

- + Check for soil erosion - min. twice per year
- + Check soil levels - min. twice per year
- + Soil tests - min. Monthly during Establish Period, then twice per year
- + Weeding - min. Monthly during Establish Period, then twice per year
- + Check drainage/ moisture levels - min. Monthly during Establish Period, then twice per year
- + Clean out subsurface drains - min. Monthly during Establish Period, then twice per year

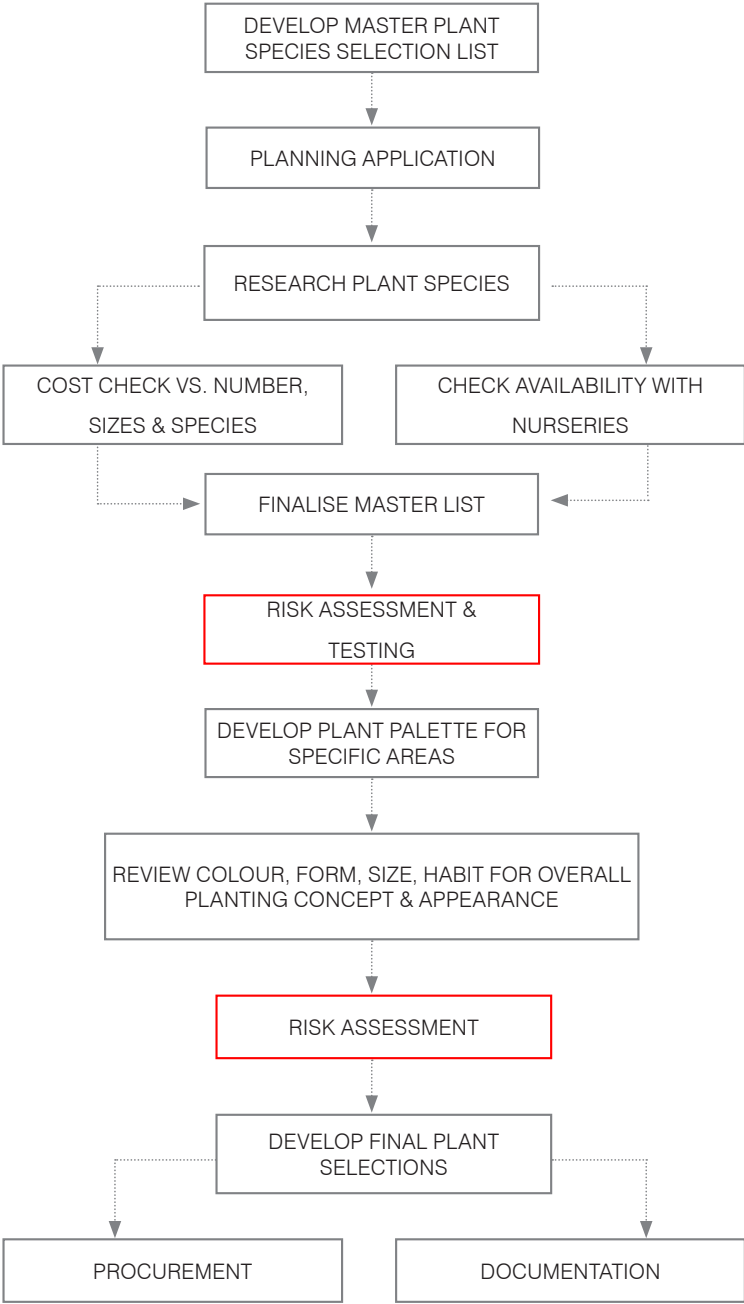
Mulch

- + Top up mulch - as required
- + Check mulch mat - min. twice per year

Irrigation

- + Check operation by testing - min. Monthly during Establish Period, then twice per year
- + Respond to any system warnings/ malfunctions - as required
- + Adjust Operation - as required
- + Replace parts/ repair - as required
- + Clean out drip lines/ flush system with water - min. three times per year
- + Ensure maintenance of all pumps and variable frequency drives - min. monthly
- + Log and record all data from the irrigation control system, including all significant events, flow rates and system pressure - min. twice per year

Planting Design Process





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