



PROJECT NUMBER 21229  
ADDRESS 146-150 Bridport St  
PROJECT STATUS Endorsement  
DATE Nov-24

PORT PHILLIP PLANNING DEPARTMENT  
Date Received: 05/05/2025

CITY OF PORT PHILLIP  
PORT PHILLIP PLANNING SCHEME

This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022  
Date: 12/12/2024 Sheet: 1 of 30

SITE AREA (sqm) APPROX	972
BUILDING FOOTPRINT (sqm)	850.0
SITE COVERAGE	87.4%
BASEMENT COVERAGE	80.7%

PROJECT SUMMARY - APARTMENTS AND PARKING

LEVEL	RETAIL	2 BED	3 BED	4 BED+	TOTAL APARTMENTS	REQUIRED CAR PARKS	ALLOCATED RES CAR PARKS	RES CAR PARKS	COMMERCIAL CAR PARKS	TOTAL CAR PARKS	BIKE PARKING
BASEMENT 02								15		15	
BASEMENT 01								4	3	7	16
GROUND	1	1	1		2	3	4				
LEVEL 01	1		1	1	2	4	4				
LEVEL 02		1		1	2	3	4				
LEVEL 03		1		1	2	3	4				
SUBTOTAL		3	2	3	8	13	16	19	3	22	16
PERCENTAGE		37.5%	25.0%	37.5%							

PROJECT SUMMARY - AREAS

LEVEL	SERVICES/ STAIR (m2)	CORRIDOR/ LOBBY	PARKING / COMMON	RETAIL(m2)	APARTMENT NSA (m2)	TERRACE / P.O.S (m2)	TOTAL APARTMENT AREA (m2)	TOTAL GFA (m2) (EX BALC)	NETT-GROSS EFFICIENCY
BASEMENT 02	36.0	8.0	740.0					784.0	
BASEMENT 01	91.0	28.0	607.0		58.0		58.0	784.0	
GROUND	49.0	87.0		284.0	350.0	51.0	401.0	770.0	82.34%
LEVEL 01	38.0	10.0		171.0	500.0	49.0	549.0	719.0	93.32%
LEVEL 02	38.0	10.0			442.0	72.0	514.0	490.0	90.20%
LEVEL 03	38.0	10.0			411.0	47.0	458.0	459.0	89.54%
SUBTOTAL	290.0	153.0	1347.0	455.0	1761.0	219.0	1980.0	4006.0	88.9%

[illegible]

DRAWING TITLE

DEMOLITION PLAN - GROUND FLOOR LEVEL	TP.0200
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This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817  
Date: 12/12/2024 Sheet: 3 of 30

PORT PHILLIP PLANNING SCHEME

152 BRIDPORT STREET  
FOUR STOREY  
BRICK APARTMENT BUILDING

152°11' 9.31  
150°59' 10.25  
242°00' 0.22  
152°00' 28.56  
332°00' 48.12

RETAIN EXISTING ROOF  
RETAIN EXISTING CHIMNEYS  
RETAIN EXISTING ROOF  
RETAIN EXISTING CHIMNEYS  
RETAIN EXISTING ROOF  
RETAIN EXISTING CHIMNEYS  
RETAIN EXISTING VERANDA  
RETAIN EXISTING VERANDA

9300  
9300  
9300

20160  
14020  
242°00' 20.16  
4540

BEVAN STREET

ST VINCENTS PL GARAGE  
ST VINCENTS PL GARAGE  
ST VINCENTS PL GARAGE

326 MONTAGUE ST  
SINGLE STOREY  
BRICK BUILDING

322 MONTAGUE ST  
SINGLE STOREY  
BRICK BUILDING

330 MONTAGUE ST  
TWO STOREY  
CONCRETE BUILDING

332 MONTAGUE ST  
TWO STOREY  
BRICK BUILDING

136-140 BRIDPORT ST  
SINGLE STOREY  
BRICK SHOP

144 BRIDPORT ST  
SINGLE STOREY  
BRICK SHOP

152-158 BRIDPORT ST  
FOUR STOREY  
BRICK APARTMENT BUILDING

3524 RIDGE

20160  
14020  
242°00' 20.16  
4540

RETAIN EXISTING ROOF  
RETAIN EXISTING CHIMNEYS  
RETAIN EXISTING ROOF  
RETAIN EXISTING CHIMNEYS  
RETAIN EXISTING ROOF  
RETAIN EXISTING CHIMNEYS  
RETAIN EXISTING VERANDA  
RETAIN EXISTING VERANDA

9300  
9300  
9300

20160  
14020  
242°00' 20.16  
4540

BEVAN STREET

ST VINCENTS PL GARAGE  
ST VINCENTS PL GARAGE  
ST VINCENTS PL GARAGE

326 MONTAGUE ST  
SINGLE STOREY  
BRICK BUILDING

322 MONTAGUE ST  
SINGLE STOREY  
BRICK BUILDING

330 MONTAGUE ST  
TWO STOREY  
CONCRETE BUILDING

332 MONTAGUE ST  
TWO STOREY  
BRICK BUILDING

136-140 BRIDPORT ST  
SINGLE STOREY  
BRICK SHOP

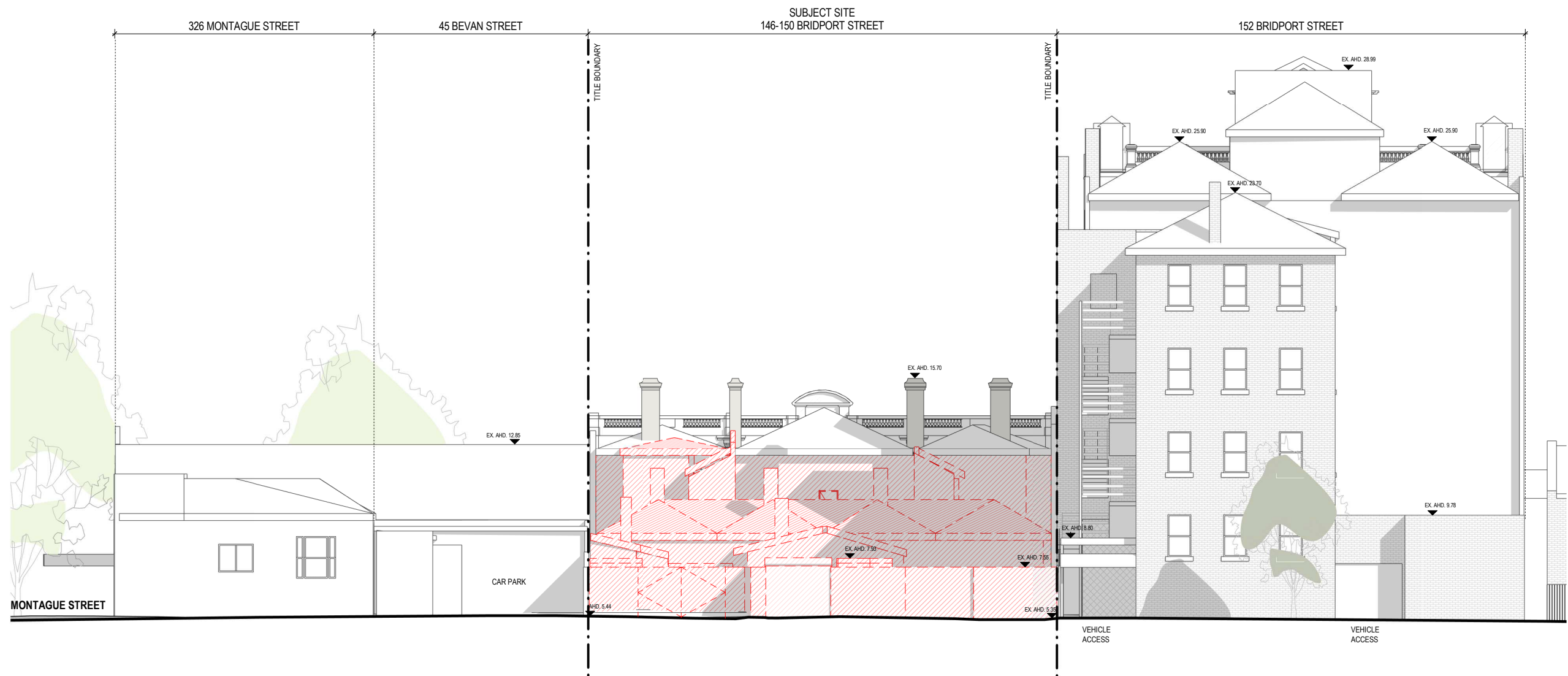
144 BRIDPORT ST  
SINGLE STOREY  
BRICK SHOP

152-158 BRIDPORT ST  
FOUR STOREY  
BRICK APARTMENT BUILDING

3524 RIDGE



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F	26/11/24	TP ENDORSEMENT	BD	DC

REV	DATE	REVISION	BY	CHK

PROJECT

**BRIDPORT STREET**

146-150 BRIDPORT STREET ALBERT PARK

TOWN PLANNING

DRAWING STATUS

**ENDORSEMENT**

JOB N° 21229

REVISION N° F

DATE 26/11/24

SCALE 1:100 @ A1

DRAWN BY BD

CHECKED BY DC

DRAWING TITLE

**NORTH ELEVATION - DEMOLITION**

TP.0300



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Date: 12/12/2024      Sheet: 5 of 30



NOTES

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PROJECT

**BRIDPORT STREET**  
146-150 BRIDPORT STREET ALBERT PARK  
TOWN PLANNING

DRAWING STATUS

**ENDORSEMENT**

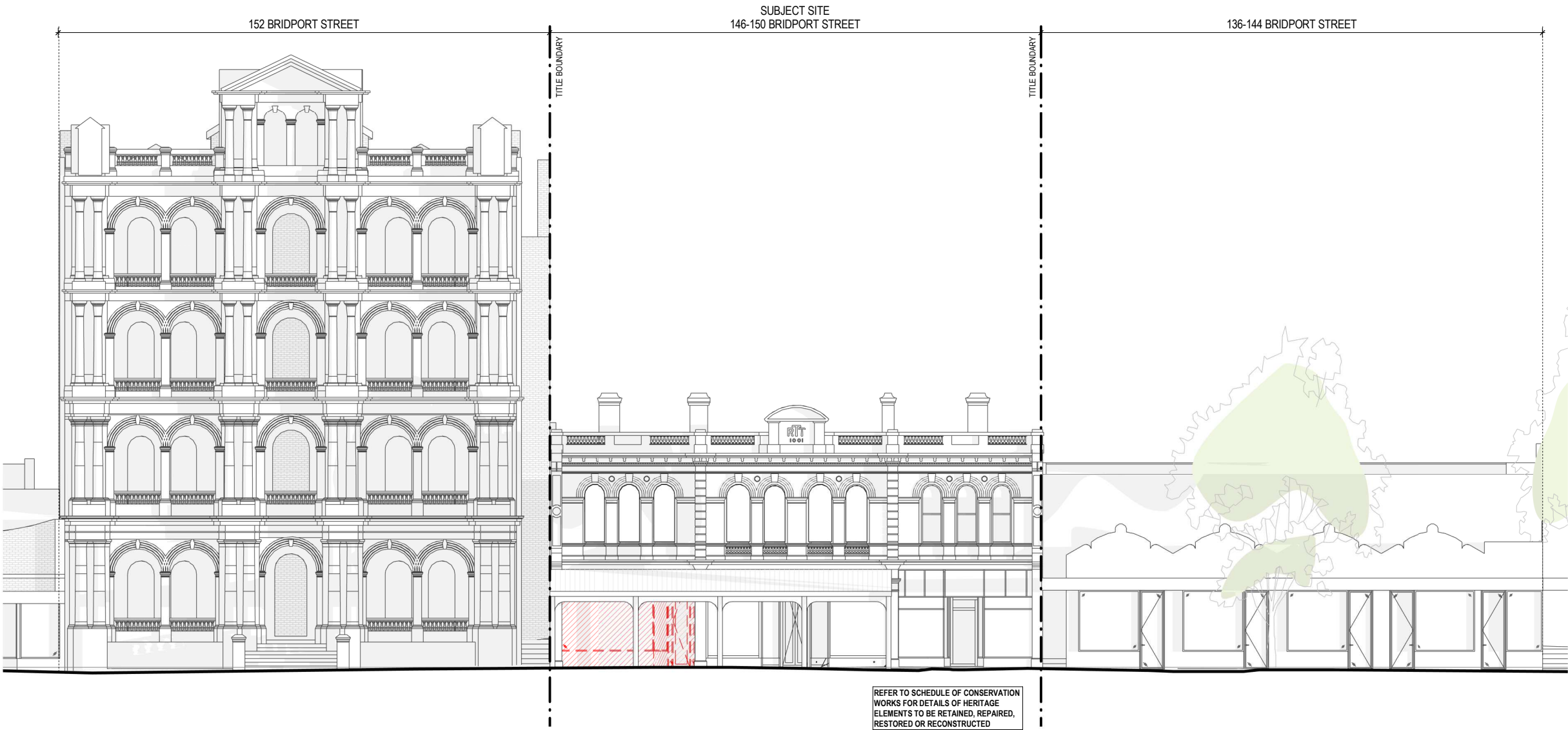
JOB N° 21229  
REVISION N° F  
DATE 26/11/24  
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DRAWN BY BD  
CHECKED BY DC

DRAWING TITLE

**EAST ELEVATION - DEMOLITION**

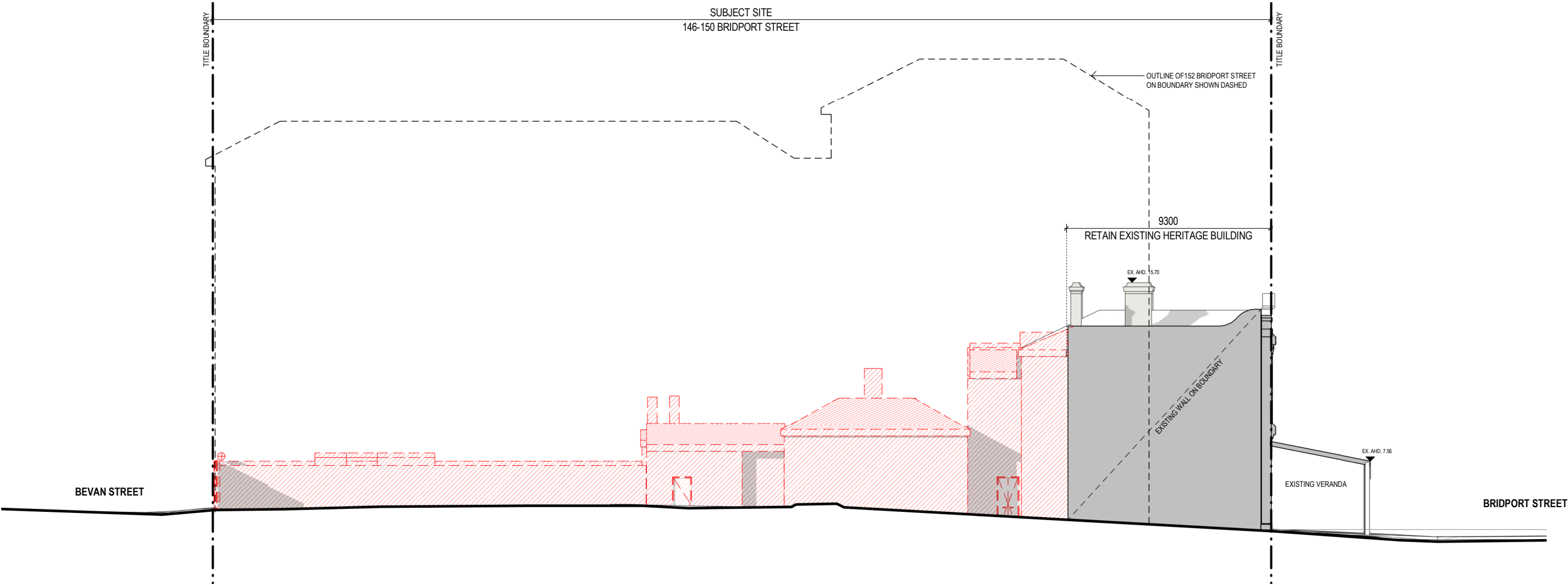
TP.0301

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Date: 12/12/2024 Sheet: 6 of 30



CITY OF PORT PHILLIP  
PORT PHILLIP PLANNING SCHEME

This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022  
Date: 12/12/2024 Sheet: 7 of 30



CERA  
STRIBLEY

Cera Stribley  
Architecture  
Interior Design

Cera Stribley Pty. Ltd.  
ABN 29 350 585 700

+ 61 3 9533 2582  
info@c-s.com.au  
www.c-s.com.au  
Level 03, 29 Stewart St  
Richmond VIC 3121 AUS

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**BRIDPORT STREET**

146-150 BRIDPORT STREET ALBERT PARK

TOWN PLANNING

DRAWING STATUS

**ENDORSEMENT**

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REVISION N° F

DATE 26/11/24

SCALE 1: 100 @ A1

DRAWN BY BD

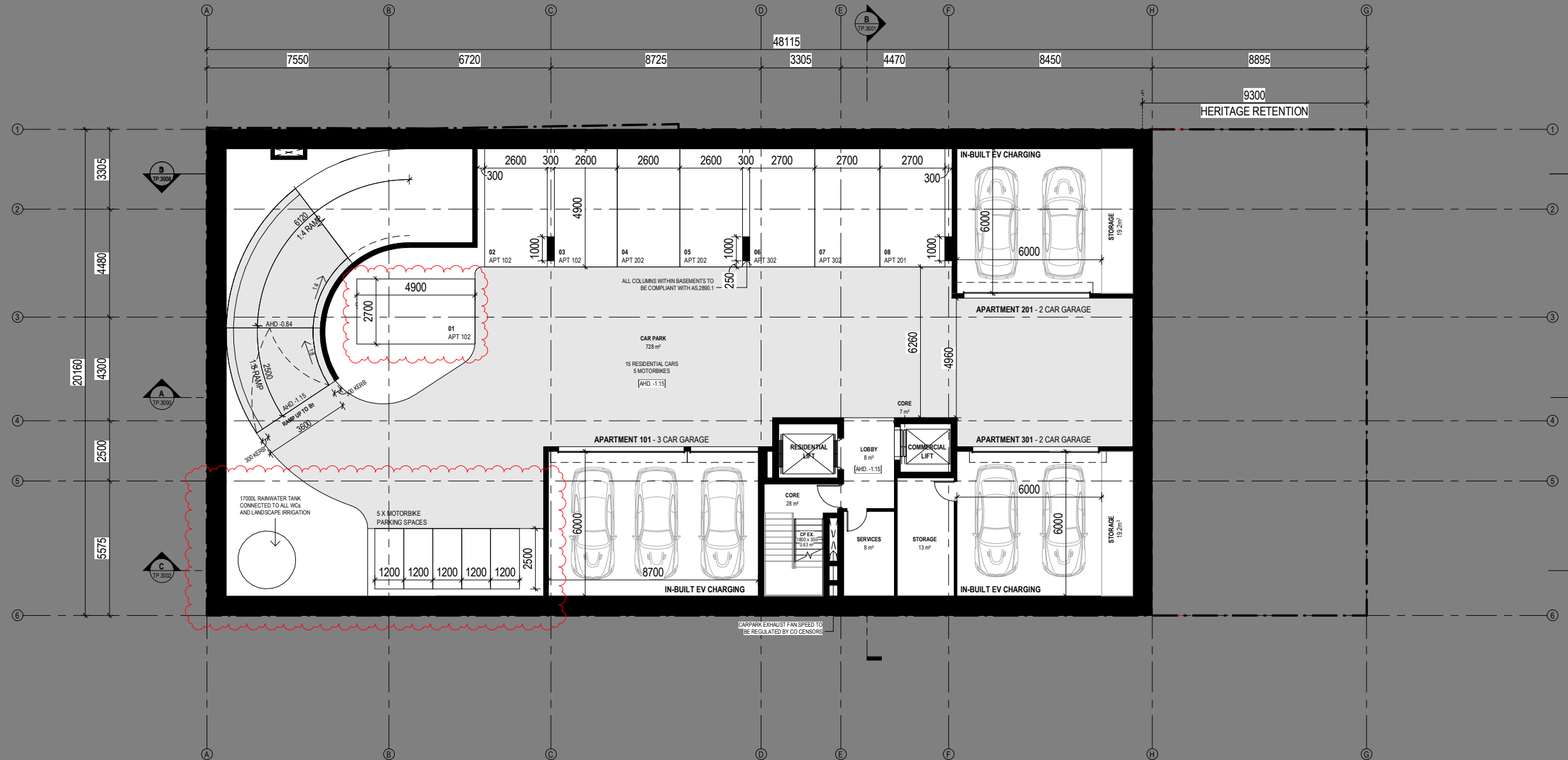
CHECKED BY DC

DRAWING TITLE

**WEST ELEVATION - DEMOLITION**



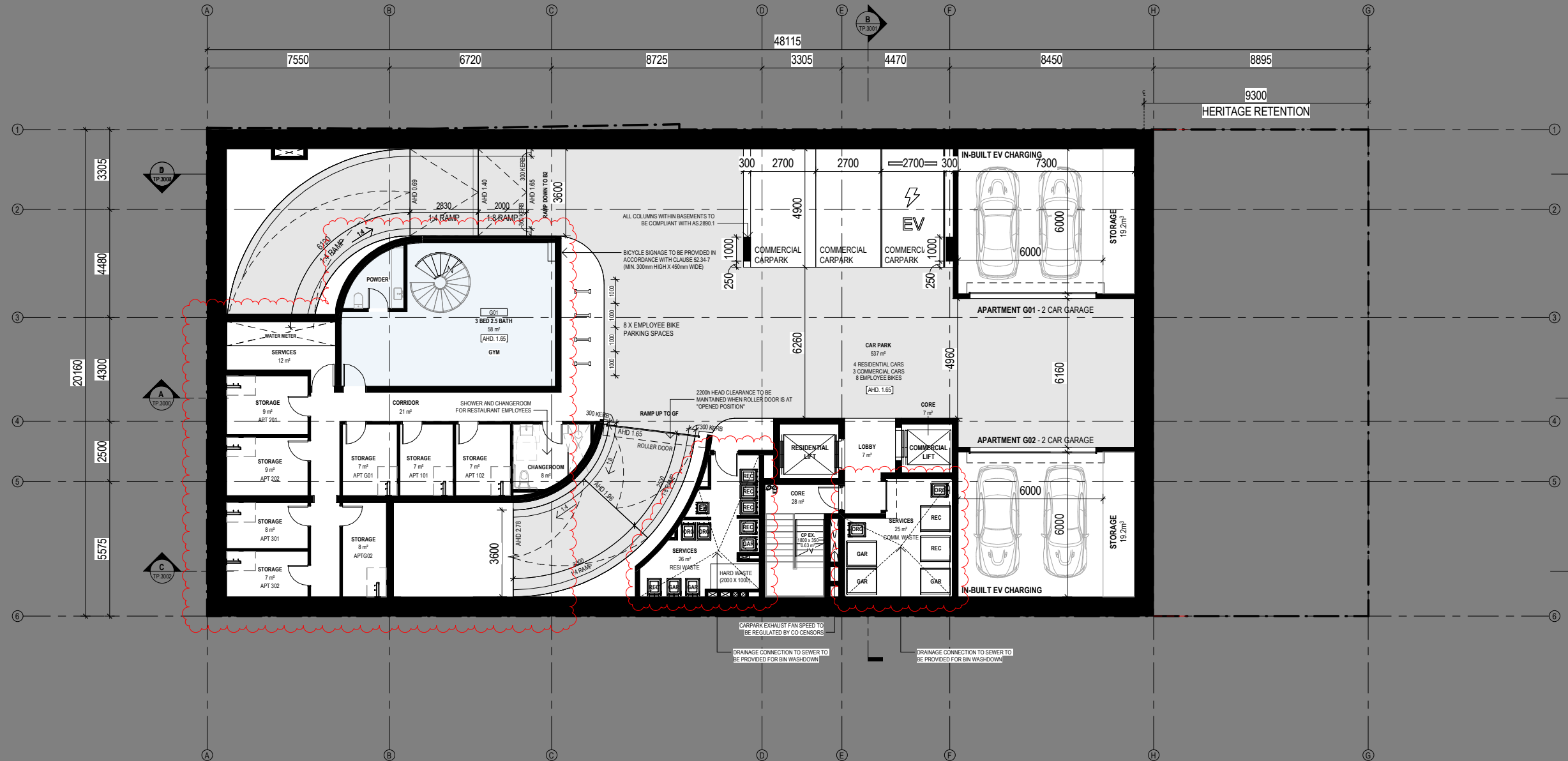
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Date: 12/12/2024 Sheet: 8 of 30





## PORT PHILLIP PLANNING SCHEME

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Date: 12/12/2024 Sheet: 9 of 30



# CERA STRIBLEY

Cera Stribley  
Architecture  
Interior Design

Cera Stribley Pty. Ltd.  
ABN 29 350 585 700

+ 61 3 9533 2582  
info@c-s.com.au  
www.c-s.com.au  
Level 03, 29 Stewart St  
Richmond VIC 3121 AUS

## NOTES

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## PROJECT

**BRIDPORT STREET**  
146-150 BRIDPORT STREET ALBERT PARK  
TOWN PLANNING

DRAWING STATUS

**ENDORSEMENT**

JOB N° 21229  
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DATE 26/11/24  
SCALE 1:100 @ A1  
DRAWN BY BD  
CHECKED BY DC

DRAWING TITLE  
**BASEMENT 01 PLAN**



TP.1091

[illegible]

[illegible]



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Date: 12/12/2024 Sheet: 12 of 30



P.1102



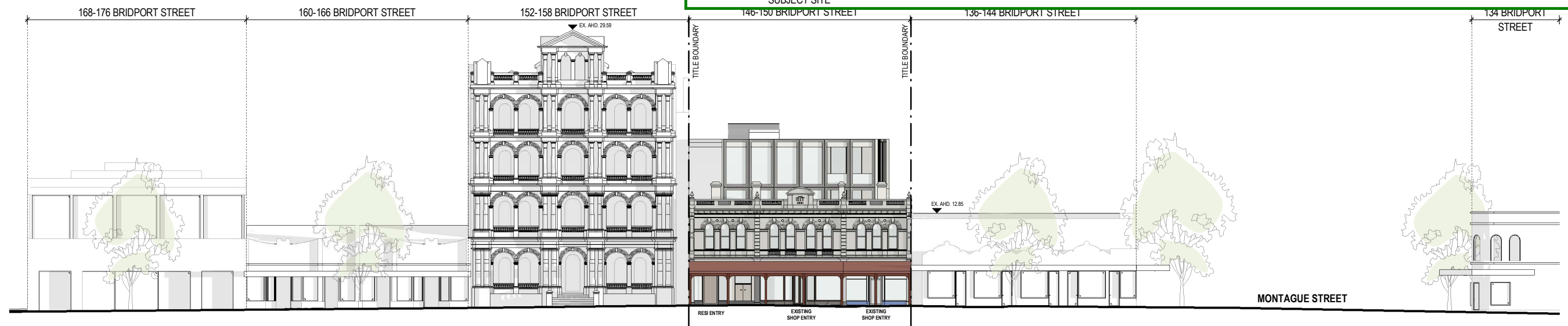
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Date: 12/12/2024  
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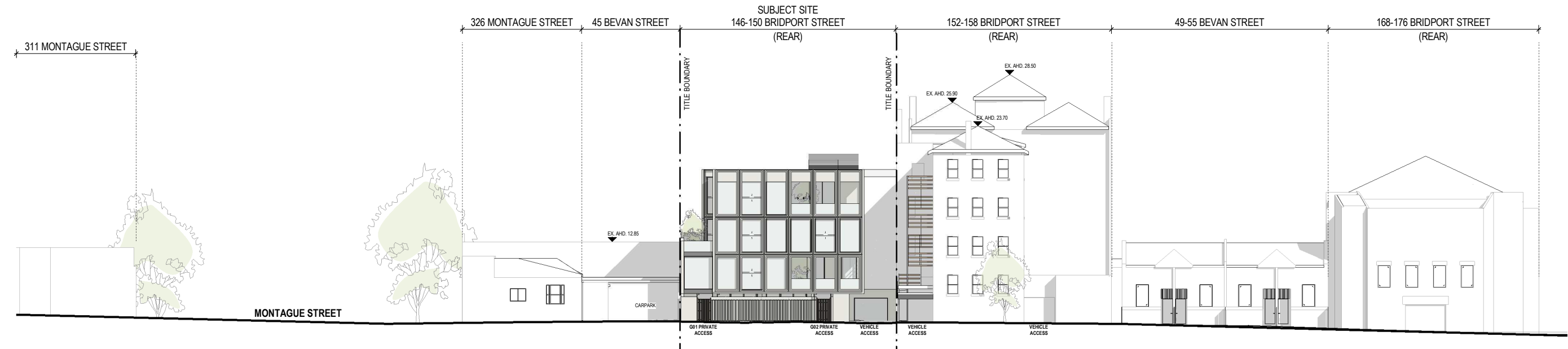
Architectural site plan for a residential development on Port Phillip Planning Scheme. The plan shows a large rectangular plot with a proposed building footprint, parking areas, and various setbacks. Key features include a 150m x 10.25m building footprint, a 152m x 11m x 9.31m area, and a 152m x 0m x 28.56m area. The plan also shows existing structures, including a 328 Montague St single storey brick building, a 330 Montague St two storey concrete building, and a 332 Montague St two storey brick building. The plan is titled "This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022 Date: 12/12/2024 Sheet: 14 of 30".



This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022  
Date: 12/12/2024 Sheet: 15 of 30

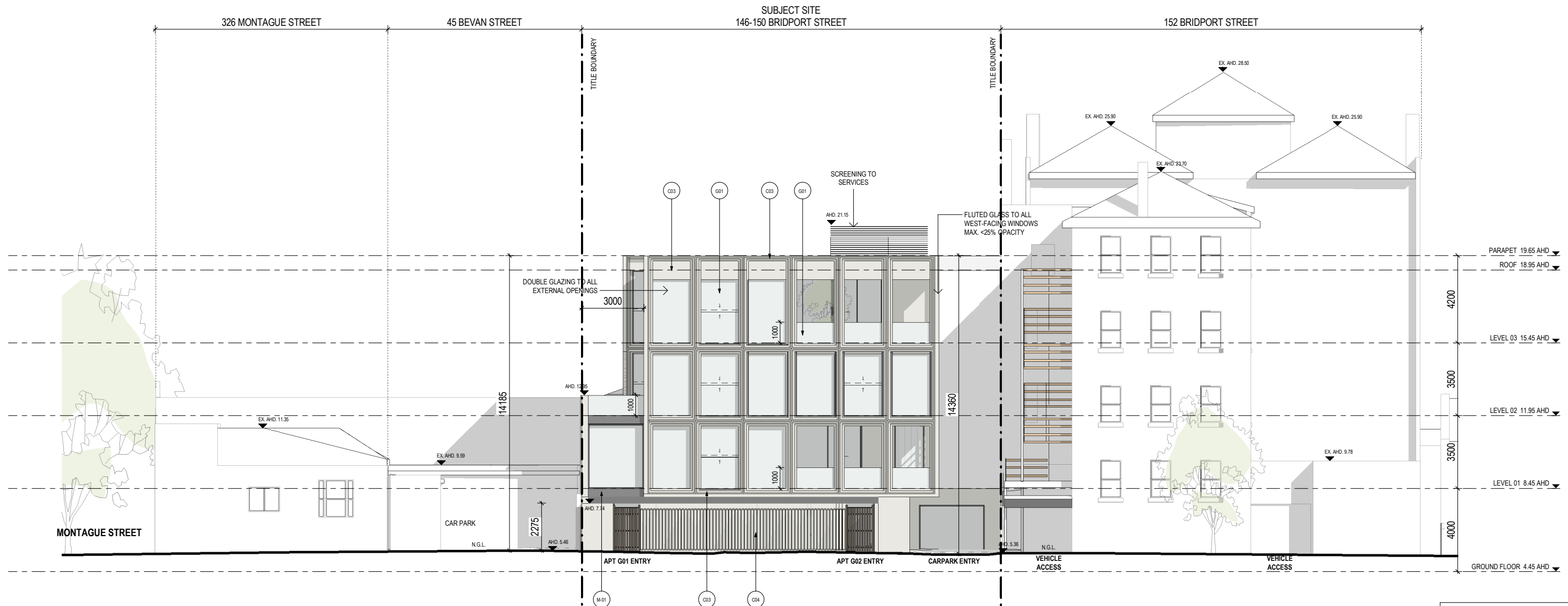


1 BRIDPORT STREETSCAPE ELEVATION - PROPOSED  
TP.1100 1: 200



2 BEVAN STREETSCAPE ELEVATION - PROPOSED  
TP.1100 1: 200

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Date: 12/12/2024 Sheet: 16 of 30



MATERIAL SCHEDULE	
G01 - GLAZING COLOUR: CLEAR DOUBLE-GLAZING	C01 - CONCRETE PRE-CAST WARM TONE FINISH
G02 - GLAZING COLOUR: CLEAR FLUTED FINISH TO BE NO MORE THAN 25% TRANSPARENT	C02 - CONCRETE OFF-FORM WARM TONE FINISH
G03 - GLAZING COLOUR: CLEAR SPECTRALLY SELECTIVE	C03 - CONCRETE WARM TONE TERRAZZO AGGREGATE SMOOTH FINISH
M01 - METAL POWDER COATED COLOUR: GREY	C04 - CONCRETE WARM TONE TERRAZZO AGGREGATE FLUTED FINISH
M02 - METAL SCREENING POWDERCOATED COLOUR: GREY	P01 - PAINT FINISH COLOUR: RED OXIDE
T01 - TIMBER NATURAL FINISH EXTERNAL	P02 - PAINT FINISH COLOUR: CHOCOLATE
R01 - RENDER FINISH COLOUR: LIGHT GREY	P03 - PAINT FINISH COLOUR: LIMED WHITE

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STRIBLEY

Cera Stribley  
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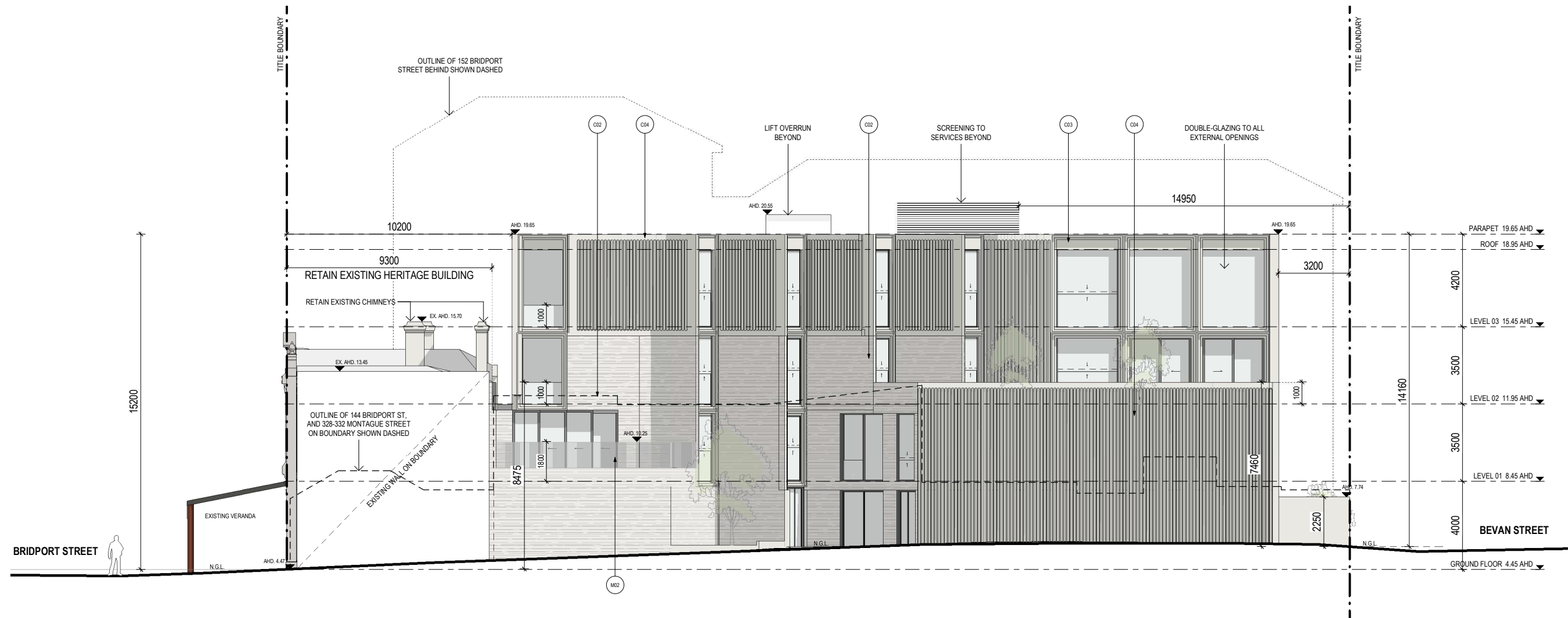
PROJECT  
**BRIDPORT STREET**  
146-150 BRIDPORT STREET ALBERT PARK  
TOWN PLANNING  
  
DRAWING STATUS  
**ENDORSEMENT**

JOB N° 21229  
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DATE 26/11/24  
SCALE 1:100 @ A1  
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DRAWING TITLE  
**NORTH ELEVATION**

TP.2101



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Date: 12/12/2024 Sheet: 17 of 30



MATERIAL SCHEDULE			
G01 - GLAZING	COLOUR: CLEAR	C01 - CONCRETE	PRE-CAST
	DOUBLE-GLAZING		WARM TONE FINISH
G02 - GLAZING	COLOUR: CLEAR	C02 - CONCRETE	OFF-FORM
	FLUTED FINISH TO BE NO MORE THAN 25% TRANSPARENT		WARM TONE FINISH
G03 - GLAZING	COLOUR: CLEAR	C03 - CONCRETE	WARM TONE
	SPECTRALLY SELECTIVE		TERRAZZO AGGREGATE
M01 - METAL	POWDER COATED	C04 - CONCRETE	WARM TONE
	COLOUR: GREY		TERRAZZO AGGREGATE
M02 - METAL	SCREENING		FLUTED FINISH
	POWDERCOATED	P01 - PAINT FINISH	COLOUR: RED OXIDE
	COLOUR: GREY	P02 - PAINT FINISH	COLOUR: CHOCOLATE
T01 - TIMBER	NATURAL FINISH	P03 - PAINT FINISH	COLOUR: LIMED WHITE
	EXTERNAL		
R01 - RENDER FINISH	COLOUR: LIGHT GREY		

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146-150 BRIDPORT STREET ALBERT PARK  
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DRAWING TITLE  
**EAST ELEVATION**

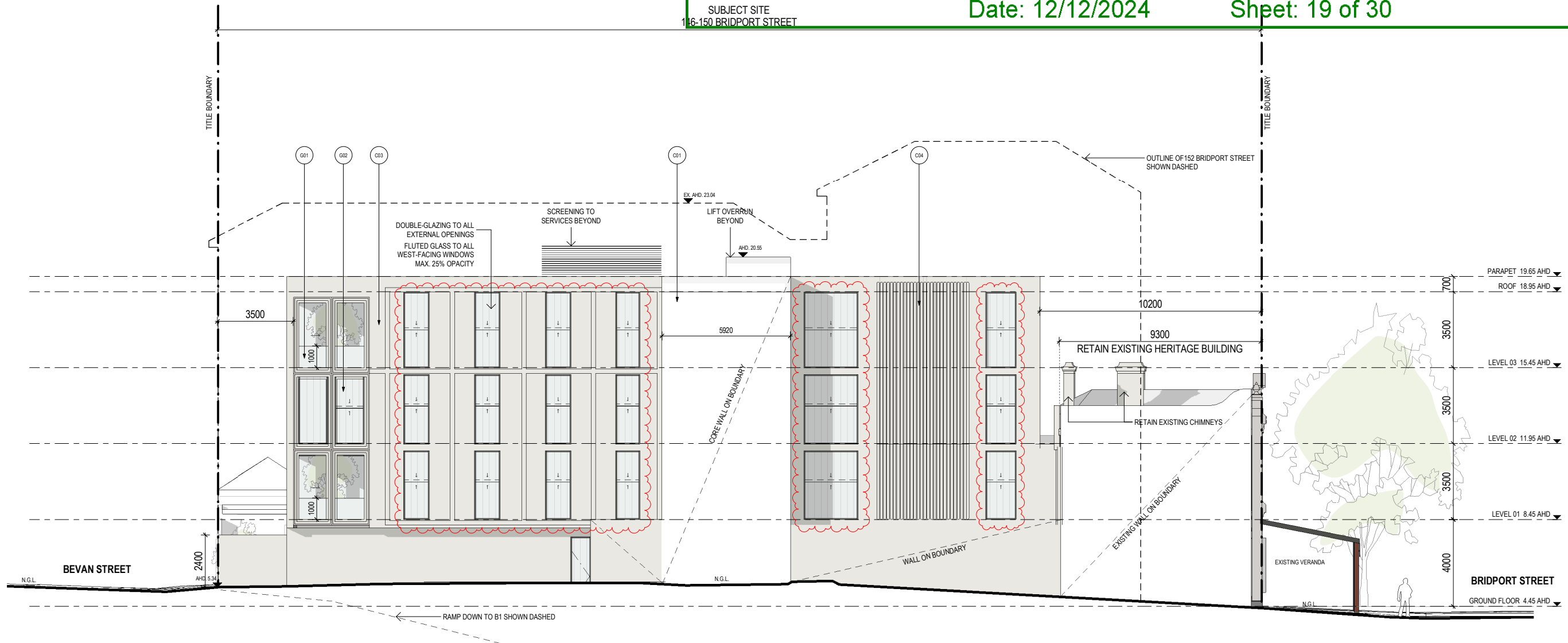
TP.2102

<b>G01 - GLAZING</b> COLOUR: CLEAR DOUBLE-GLAZING	<b>C01 - CONCRETE</b> PRE-CAST WARM TONE FINISH
<b>G02 - GLAZING</b> COLOUR: CLEAR FLUTED FINISH TO BE NO MORE THAN 25% TRANSPARENT	<b>C02 - CONCRETE</b> OFF-FORM WARM TONE FINISH
<b>G03 - GLAZING</b> COLOUR: CLEAR SPECTRALLY SELECTIVE	<b>C03 - CONCRETE</b> WARM TONE TERRAZZO AGGREGATE SMOOTH FINISH
<b>M01 - METAL</b> POWDER COATED COLOUR: GREY	<b>C04 - CONCRETE</b> WARM TONE TERRAZZO AGGREGATE FLUTED FINISH
<b>M02 - METAL</b> SCREENING POWDER COATED COLOUR: GREY	<b>P01 - PAINT FINISH</b> COLOUR: RED OXIDE
<b>T01 - TIMBER</b> NATURAL FINISH EXTERNAL	<b>P02 - PAINT FINISH</b> COLOUR: CHOCOLATE
	<b>P03 - PAINT FINISH</b> COLOUR: LIGHT WHITE
<b>R01 - RENDER FINISH</b> COLOUR: LIGHT GREY	

THE HERITAGE ELEVATIONS IN THE SCHEDULE OF CONSERVATION WORKS TAKE PRECEDENCE WITH REGARDS TO THE EXISTING HERITAGE FABRIC ON BRIDPORT ST

TP.2103

This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022  
Date: 12/12/2024 Sheet: 19 of 30



MATERIAL SCHEDULE			
G01 - GLAZING	COLOUR: CLEAR	C01 - CONCRETE	PRE-CAST
	DOUBLE-GLAZING		WARM TONE FINISH
G02 - GLAZING	COLOUR: CLEAR	C02 - CONCRETE	OFF-FORM
	FLUTED FINISH TO BE NO MORE THAN 25% TRANSPARENT		WARM TONE FINISH
G03 - GLAZING	COLOUR: CLEAR	C03 - CONCRETE	WARM TONE
	SPECTRALLY SELECTIVE		TERRAZZO AGGREGATE
M01 - METAL	POWDER COATED	C04 - CONCRETE	WARM TONE
	COLOUR: GREY		TERRAZZO AGGREGATE
M02 - METAL	POWDER COATED		FLUTED FINISH
	COLOUR: GREY	P01 - PAINT FINISH	COLOUR: RED OXIDE
T01 - TIMBER	NATURAL FINISH	P02 - PAINT FINISH	COLOUR: CHOCOLATE
	EXTERNAL	P03 - PAINT FINISH	COLOUR: LIMED WHITE
R01 - RENDER FINISH	COLOUR: LIGHT GREY		

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STRIBLEY

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PROJECT  
**BRIDPORT STREET**  
146-150 BRIDPORT STREET ALBERT PARK  
TOWN PLANNING  
  
DRAWING STATUS  
**ENDORSEMENT**

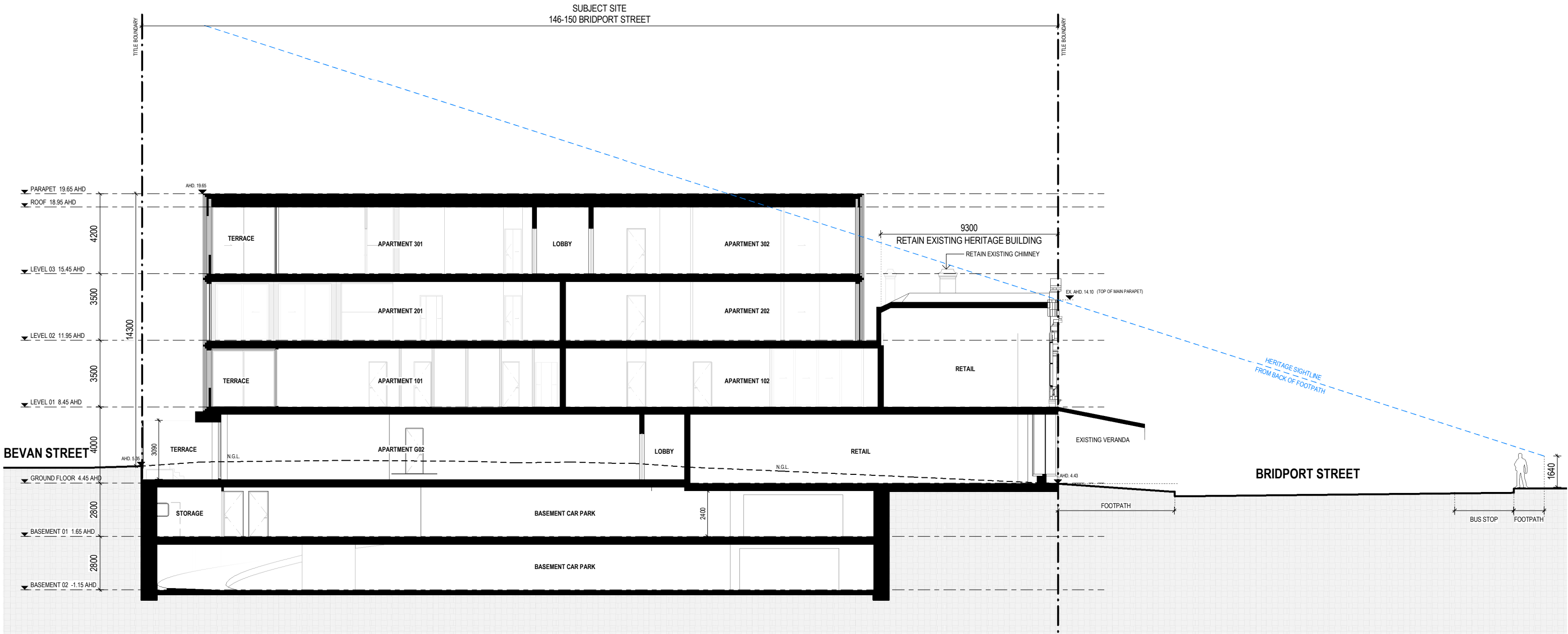
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SCALE 1: 100 @ A1  
DRAWN BY BD  
CHECKED BY DC  
  
DRAWING TITLE  
**WEST ELEVATION**

TP.2104

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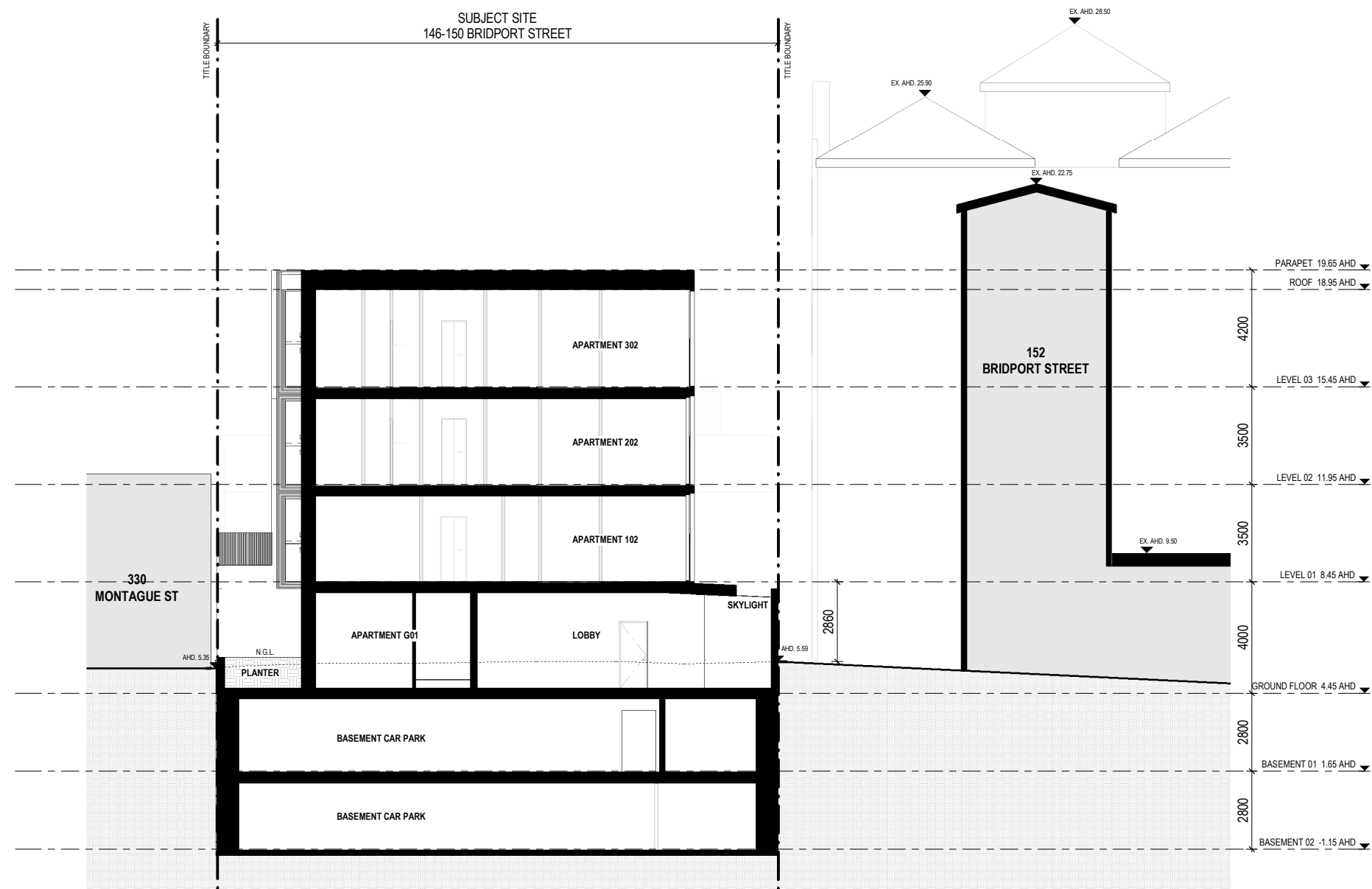
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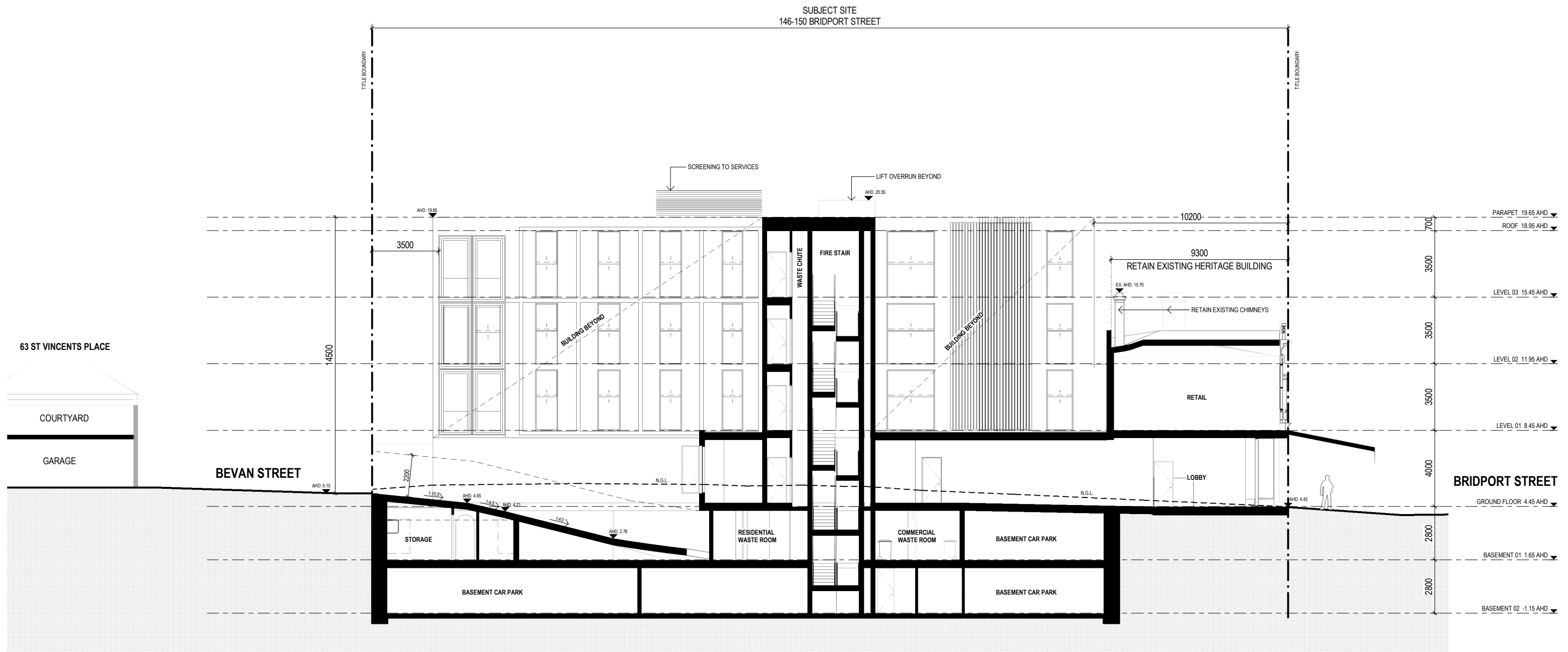




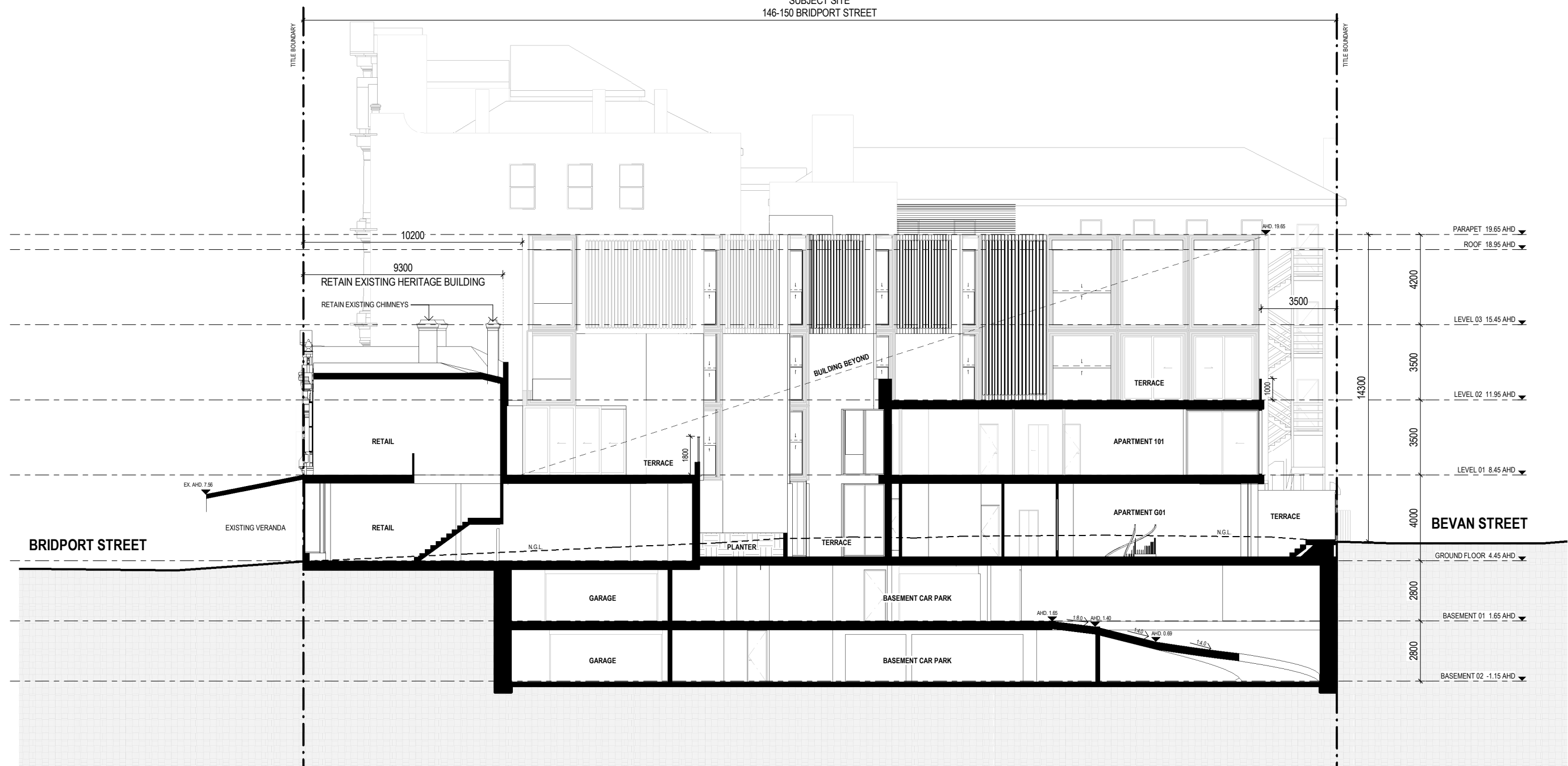
This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022  
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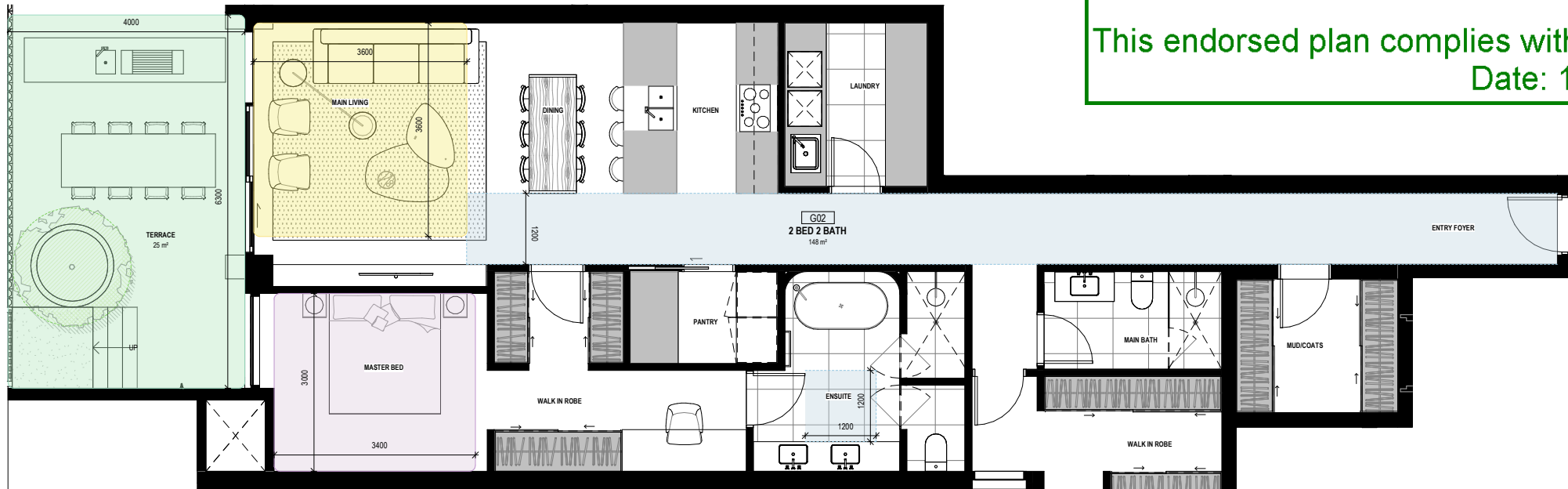
This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022  
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SUBJECT SITE  
146-150 BRIDPORT STREET



This endorsed plan complies with Condition No. 1 in Planning Permit No: PDPL/00817/2022  
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202_302	2 BED 2.5 BATH	161 m²
MAIN BEDROOM SIZE	4500 x 3840mm	
SECOND BEDROOM SIZE	3000 x 3110mm	
THIRD BEDROOM SIZE		
FOURTH BEDROOM SIZE		
LIVING ROOM SIZE	4600 x 6300mm	
HABITABLE ROOM DEPTH	8740mm	
SNORKEL		
INTERNAL STORAGE	26.9 m³	
BREEZE PATH	9.0 m	
TERRACE SIZE	20 m²	
DDA COMPLIANCE	A	

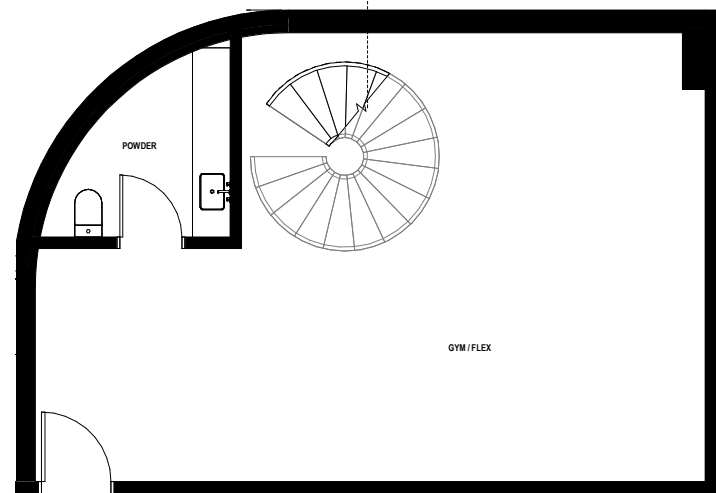
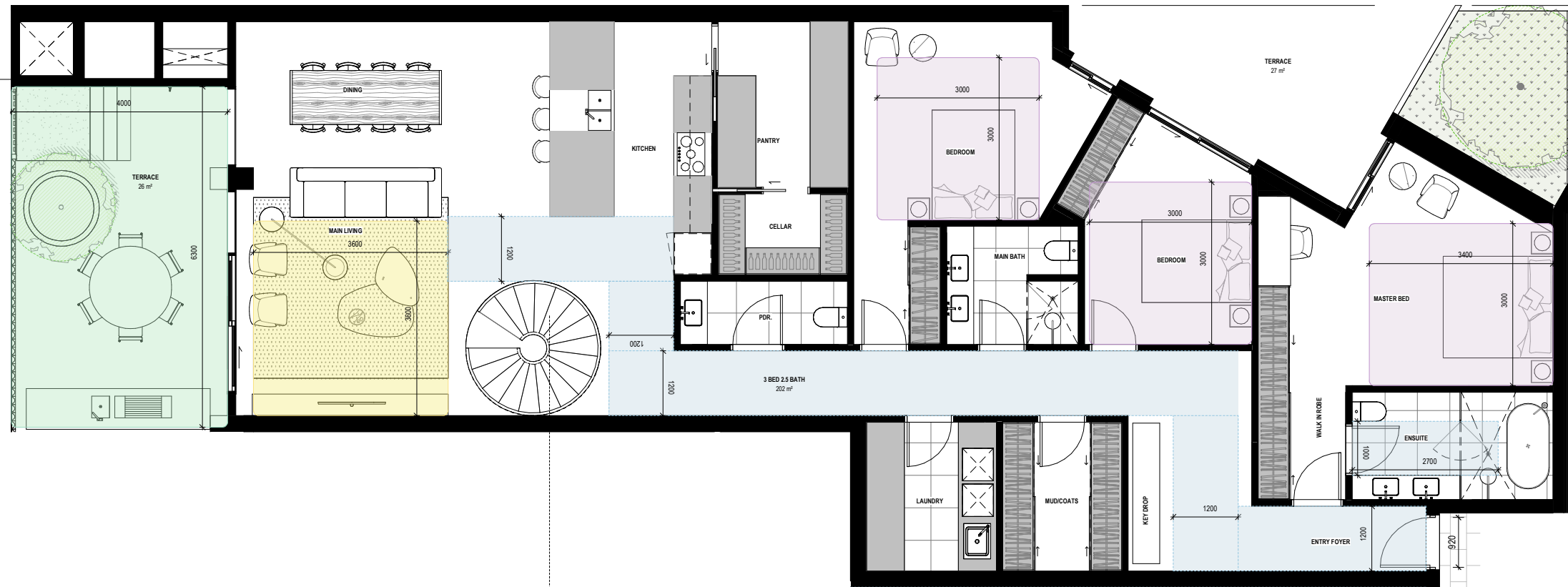
G02	2 BED 2 BATH	148 m²
MAIN BEDROOM SIZE	3000 x 3600mm	
SECOND BEDROOM SIZE	3000 x 3680mm	
THIRD BEDROOM SIZE		
FOURTH BEDROOM SIZE		
LIVING ROOM SIZE	4450 x 4070mm	
HABITABLE ROOM DEPTH	8900mm	
SNORKEL		
INTERNAL STORAGE	29.9 m³	
BREEZE PATH		
TERRACE SIZE	25 m²	
DDA COMPLIANCE	A	





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G01	
3 BED 2.5 BATH	
202 m²	
MAIN BEDROOM SIZE	3000 x 4850mm
SECOND BEDROOM SIZE	3100 x 3150mm
THIRD BEDROOM SIZE	3675 x 3665mm
FOURTH BEDROOM SIZE	
LIVING ROOM SIZE	4250 x 4600mm
HABITABLE ROOM DEPTH	8800mm
SNORKEL	
INTERNAL STORAGE	39.6 m³
BREEZE PATH	
TERRACE SIZE	26 m²
DDA COMPLIANCE	B

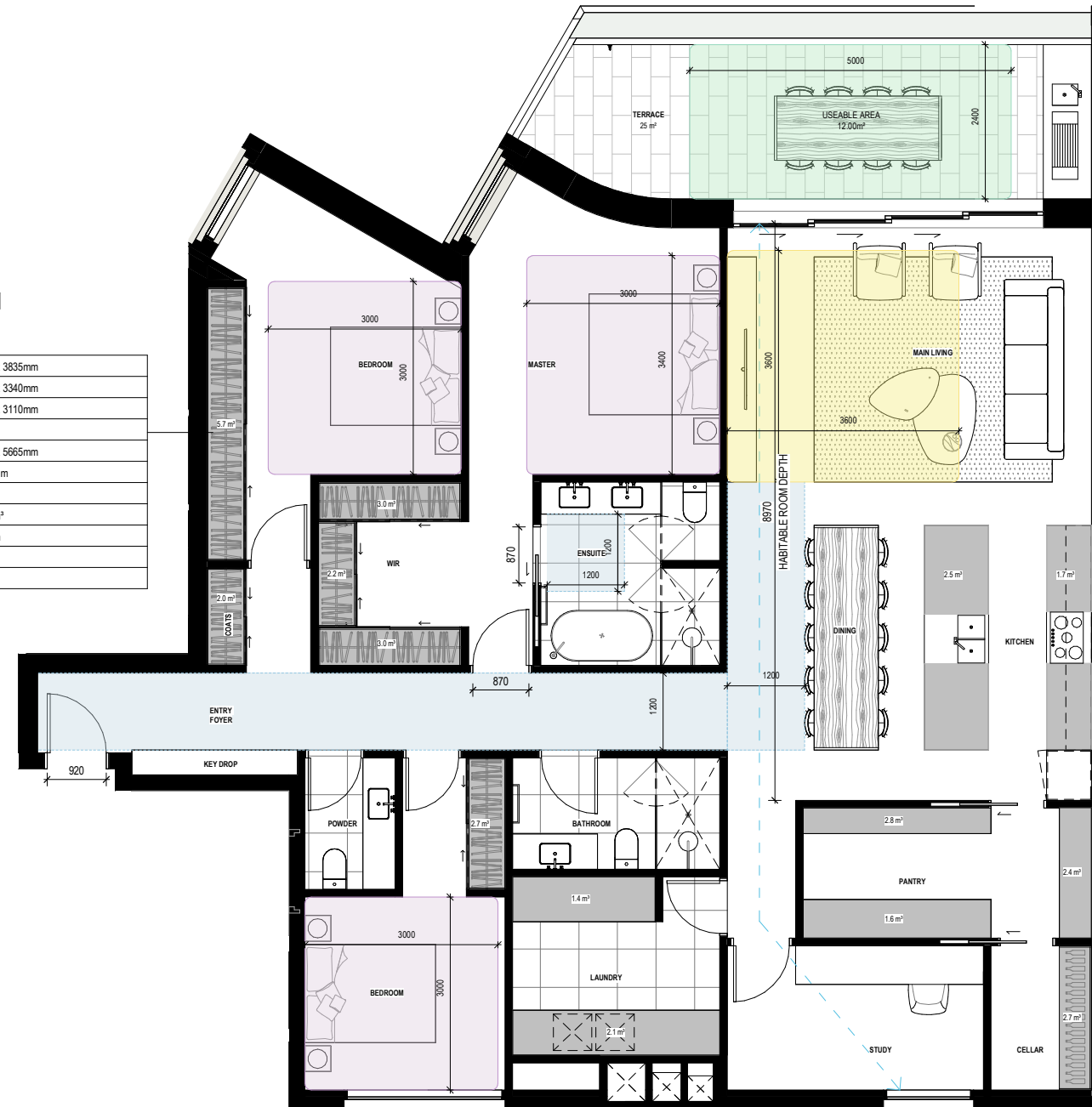


BASEMENT 1 - GYM / FLEX ROOM (APT G01)



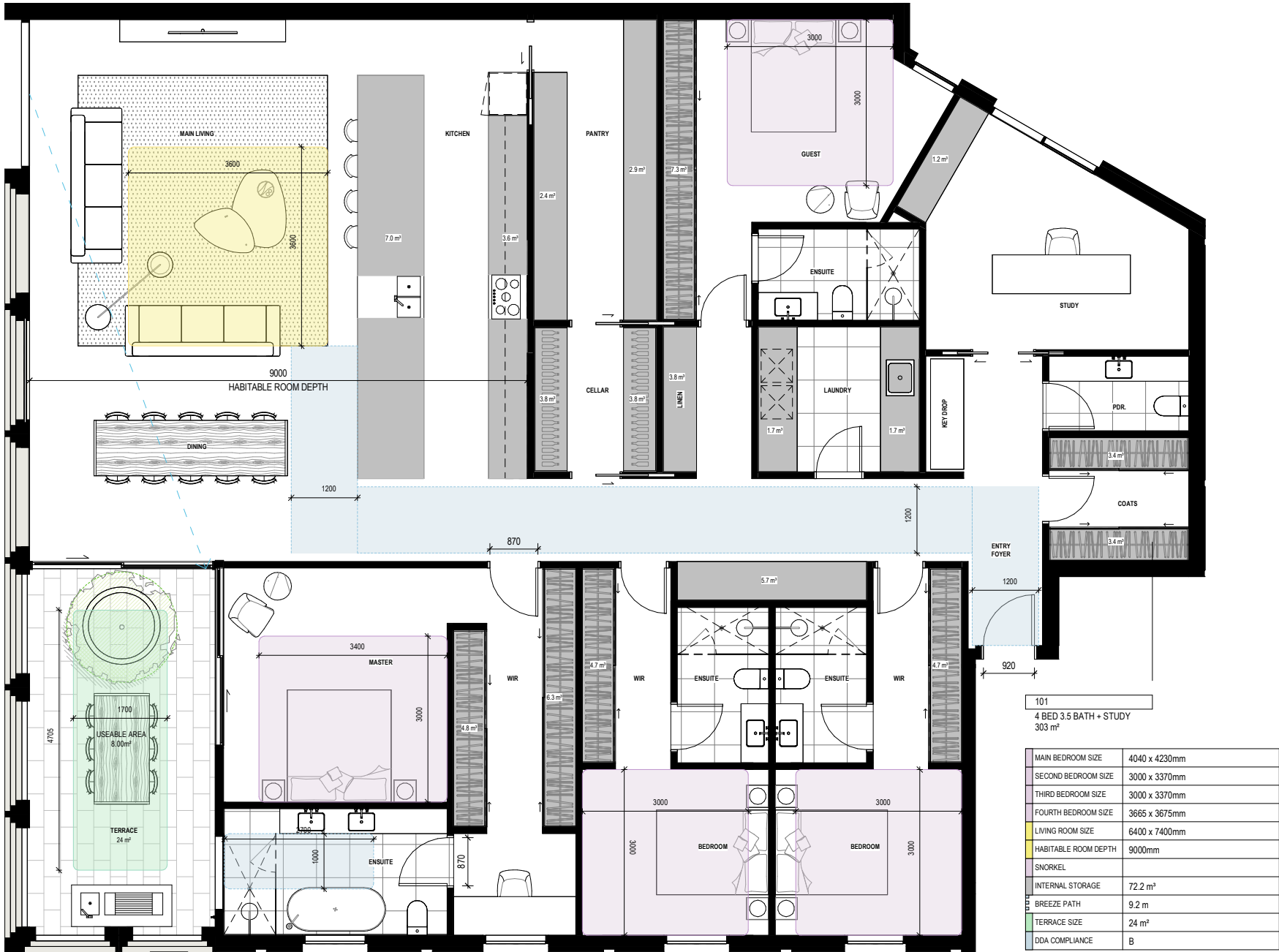
102  
3 BED 2.5 BATH  
197 m<sup>2</sup>

MAIN	MAIN BEDROOM SIZE	3900 x 3835mm
	SECOND BEDROOM SIZE	3000 x 3340mm
	THIRD BEDROOM SIZE	3000 x 3110mm
	FOURTH BEDROOM SIZE	
	LIVING ROOM SIZE	4625 x 5665mm
	HABITABLE ROOM DEPTH	8970mm
	SNOEKEL	
	INTERNAL STORAGE	35.8 m³
	BREEZE PATH	14.3 m
	TERRACE SIZE	25 m²
DDA COMPLIANCE	A	



PORT PHILLIP PLANNING SCHEME

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201  
4 BED 4.5 BATH  
280 m<sup>2</sup>

MAIN BEDROOM SIZE	4260 x 4370mm
SECOND BEDROOM SIZE	3060 x 3000mm
THIRD BEDROOM SIZE	3280 x 3000mm
FOURTH BEDROOM SIZE	3900 x 3170mm
LIVING ROOM SIZE	5700 x 6000mm
HABITABLE ROOM DEPTH	8320mm
SNORKEL	
INTERNAL STORAGE	56.8 m <sup>3</sup>
BREEZE PATH	11.9 m
TERRACE SIZE	52 m <sup>2</sup>
DDA COMPLIANCE	A

The floor plan shows a large open-plan living and dining area (yellow) with a fireplace and access to a terrace (green). The kitchen (grey) includes a pantry, wine cellar, and laundry. The bedrooms (purple) are located on the right and bottom, with a master bedroom featuring an ensuite and walk-in robe. The plan also includes a study, guest room, and multiple bathrooms. Dimensions and areas are provided for each room and the overall property.





This detailed floor plan illustrates a house with the following rooms and features:

- Main Living:** A large open-plan area with a yellow highlight, measuring 3600 by 3600. It includes a sofa, armchairs, and a coffee table.
- Dining:** A rectangular area measuring 1200 by 1200, featuring a long dining table and chairs.
- Kitchen:** A U-shaped kitchen measuring 4.2 m², equipped with a sink, stove, and refrigerator.
- Pantry:** A small storage area measuring 3.4 m².
- Entry Foyer:** A central entryway measuring 920 by 1000, leading to the rest of the house.
- Bedrooms:**
  - Master Bed:** A large bedroom measuring 3400 by 3000, with a walk-in wardrobe (WIR) and a private ensuite.
  - Guest:** A bedroom measuring 3000 by 3000.
  - Bedroom:** A bedroom measuring 3000 by 3000.
  - Bedroom:** A second bedroom measuring 3000 by 3000.
- Bathrooms:**
  - Ensuite:** Attached to the Master Bed.
  - Guest:** Attached to the Guest bedroom.
  - Bedroom:** Attached to the top-right bedroom.
  - Bedroom:** Attached to the bottom-right bedroom.
- Other Rooms:**
  - Powder:** A small bathroom.
  - Bathroom:** A full bathroom.
  - Coats/Mud:** A closet area for coats and shoes.
  - Laundry:** A dedicated laundry room.
  - Terrace:** An outdoor area measuring 27 m², featuring a circular garden and a dining table.

The plan also includes various dimensions for room depth, width, and area, as well as a scale bar indicating 0, 10, and 20 feet.

301	
4 BED 3.5 BATH + STUDY	
251 m <sup>2</sup>	
MAIN BEDROOM SIZE	4560 x 4250mm
SECOND BEDROOM SIZE	3000 x 3600mm
THIRD BEDROOM SIZE	3000 x 3275mm
FOURTH BEDROOM SIZE	3170 x 4040mm
LIVING ROOM SIZE	6650 x 7000mm
HABITABLE ROOM DEPTH	6795mm
SNORKEL	
INTERNAL STORAGE	36.9 m <sup>3</sup>
BREEZE PATH	9.6 m
TERRACE SIZE	27 m <sup>2</sup>
DDA COMPLIANCE	A

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<b>C01</b>	<b>Concrete</b> Precast Colour: Off-White / Light Grey (Warm Tone)
<b>C02</b>	<b>Concrete</b> Finish: Off Form Colour: Off-White / Light Grey (Warm Tone)
<b>C03</b>	<b>Concrete</b> Terrazzo Aggregate Finish: Smooth Colour: Off-White / Light Grey Base with Darker Warm Tone Aggregates
<b>C04</b>	<b>Concrete</b> Terrazzo Aggregate Finish: Fluted Colour: Off-White / Light Grey Base with Darker Warm Tone Aggregates
<b>GL01</b>	<b>Glazing</b> Double Glazing Colour: Clear
<b>GL02</b>	<b>Glazing</b> Double Glazing Fluted - Max 25% Transparency Colour: Clear
<b>M01</b>	<b>Metal</b> Powder Coated Colour: Charcoal
<b>M02</b>	<b>Metal</b> Screening Anodised Metal Finish (Or Similar)
<b>P01</b>	<b>Paint Finish</b> Colour: Red Oxide
<b>P02</b>	<b>Paint Finish</b> Colour: Chocolate
<b>P03</b>	<b>Paint Finish</b> Colour: Limed White
<b>R01</b>	<b>Render Finish</b> Unifying finish in either skim coat, lime-rich render wash or mineral silicate paint (TBC) Colour: Light Grey

