

Ref MAN:JKOZ:8477773

Maddocks
Lawyers
Collins Square, Tower Two
Level 25, 727 Collins Street
MELBOURNE 3000

Port Phillip City Council
Proposed Discontinuance and sale of abutting 50 Nimmo Street, Middle Park

DATE OF INSPECTION: 1 December 2021

PHOTOGRAPHS OF THE ROAD: Attached at Annexure A

IS THE ROAD OPEN AND AVAILABLE FOR USE BY THE PUBLIC? Yes No

WHAT OBSTRUCTIONS ARE OVER THE ROAD?

Fencing	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Vegetation *	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Rubbish	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Services * #	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Other *	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	(# Including fire hydrants/plugs.)	

THE MATERIAL WITH WHICH THE ROAD IS CONSTRUCTED:

<input checked="" type="checkbox"/> Nil	<input type="checkbox"/> Bitumen
<input type="checkbox"/> Bluestone	<input type="checkbox"/> Other _____

EVIDENCE OF THE ROAD BEING USED:

<input checked="" type="checkbox"/> Nil	<input type="checkbox"/> Gates - Opening onto the road
<input type="checkbox"/> Tyre marks	<input type="checkbox"/> Garages - Opening onto the road
<input type="checkbox"/> Worn grass	<input type="checkbox"/> Other _____

TYPE OF TRAFFIC:

Pedestrian Vehicular Animal Nil

WHAT IS THE ROAD PROVIDING ACCESS TO?

Adjoining properties @ Reserve/Park
 Main Road Shops/Car-park
 Other _____

@ Specify Which Properties:

A gate is located at the northern end of the road at the southern boundary of the property at 48 Nimmo Street. This gate does not appear to have been recently used for any access purposes. A gate is located at the southern end of the road at Neville Street which provides pedestrian access to the rear of the property at 115 Neville Street. The proposed discontinuance limited to the northern 3.50m section of the road does not affect this access.

DETAILS OF OTHER SUITABLE MEANS OF ACCESS NEARBY.

All adjacent properties have direct access to public roads.

DETAILS OF FENCES, BUILDINGS AND/OR LANDSCAPING PLACED ON OR OVER ANY PORTION OF THE ROAD BY ABUTTING PROPERTY OWNERS, AND THE EXTENT OF SUCH ENCROACHMENT.

None.

IS THE ROAD REQUIRED FOR PUBLIC ACCESS? YES NO

OTHER OBSERVATIONS

None

Signed:



Date: 15/12/21

Greg O'Neill, Licensed Surveyor
MILLAR MERRIGAN
LAND DEVELOPMENT CONSULTANTS
2/126 MERRINDALE DRIVE, CROYDON.
P.O. BOX 247, CROYDON. 3136
TEL 8720 9588

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ANNEXURE A - Photographs

Property Address: 50 Nimmo Street, Middle Park

In reply please quote:
Ref. 28460



Looking north along the unused road at the rear of 50 Nimmo Street

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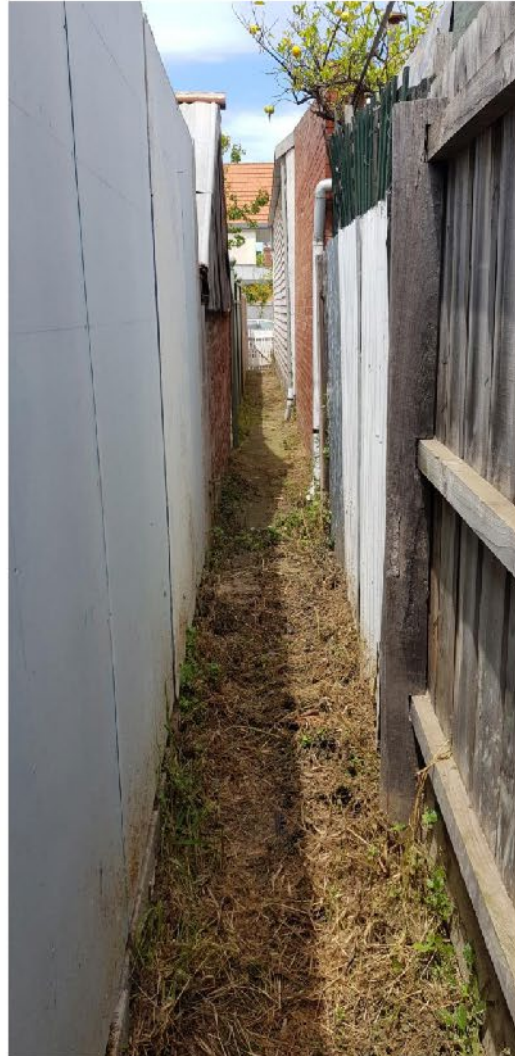
Showing the disused gate at the southern boundary of 48 Nimmo Street

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Looking south along the unused Road towards Neville Street

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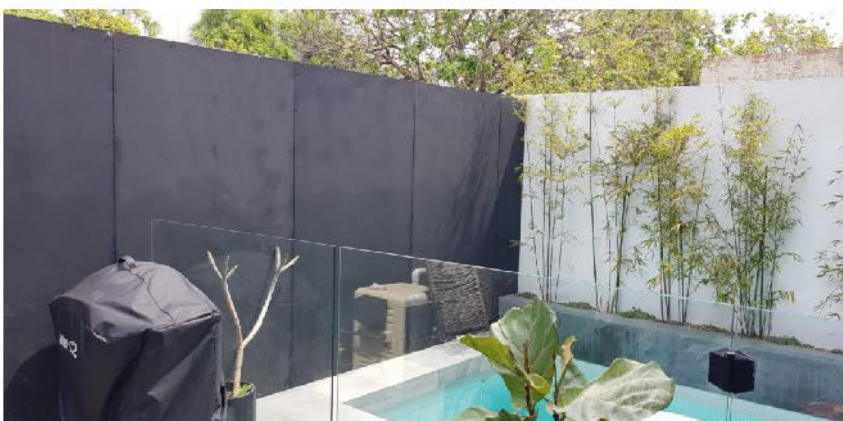
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View of the unused Road to the east of 115 Neville Street



View of the front of 50 Nimmo Street



View of the rear of 50 Nimmo Street. The unused Road is beyond the dark grey screen

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