

Part one

424 ST KILDA ROAD

Better Apartments Design Standards Assessment
Section 72, City of Port Phillip

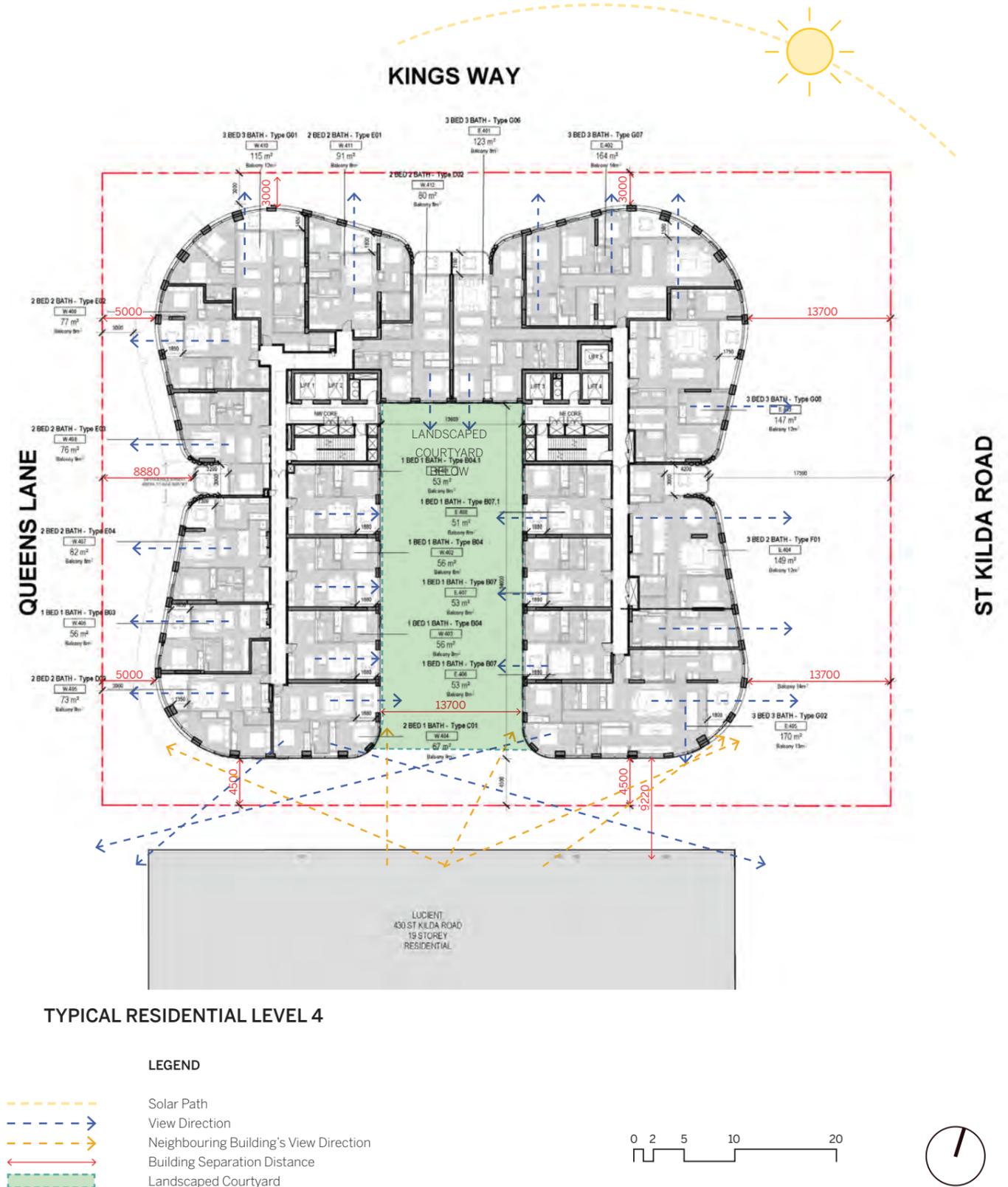
18th December 2025

GURNER™

SOM

Clause 58.04-1 Building setback

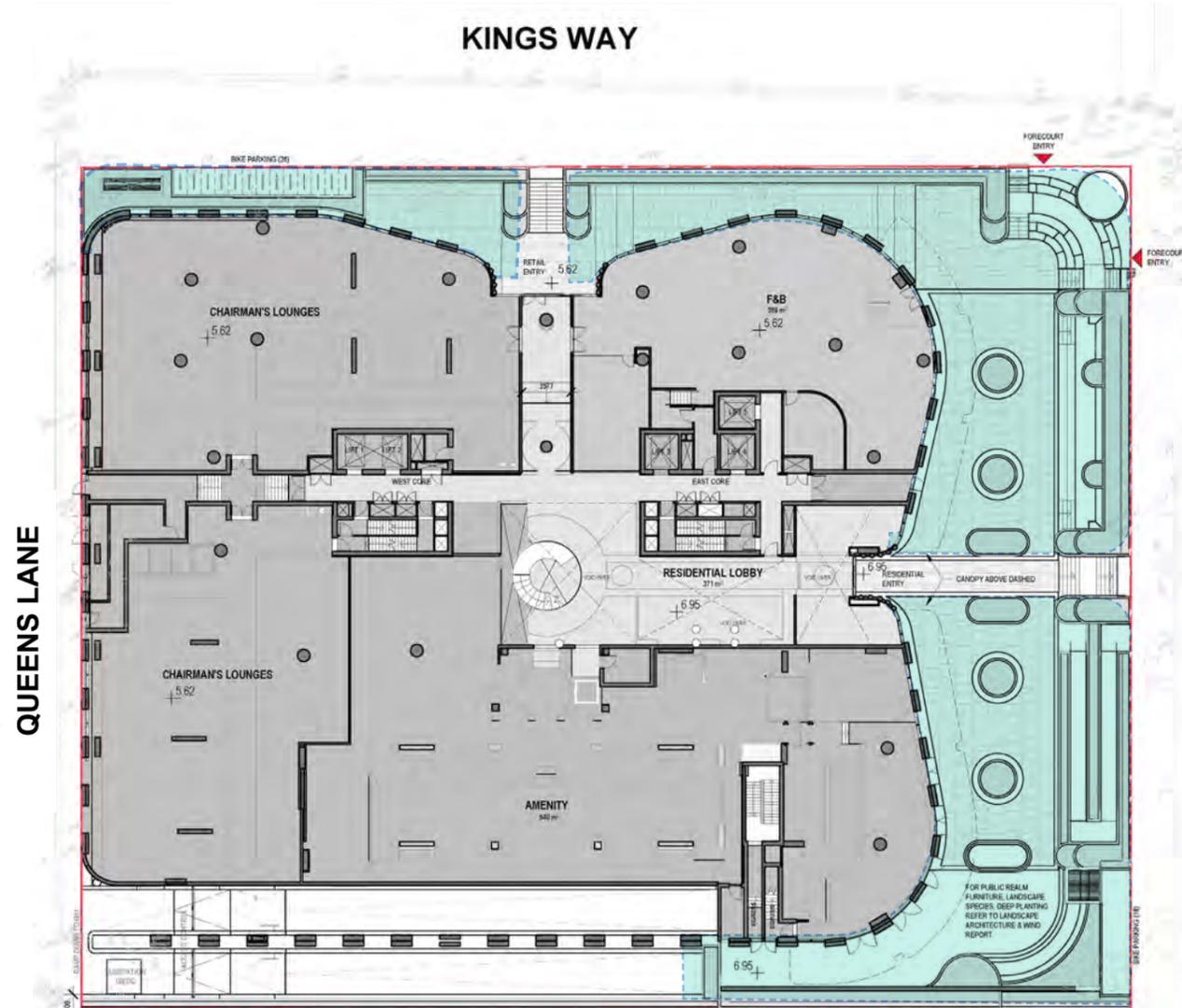
Item Description	Notes	Proposal Complies	
SECTION 1 - SITING AND BUILDING ARRANGEMENT			
BUILDING SETBACK			
Objective 58.04-1	The standard seeks to: <ul style="list-style-type: none"> ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area. allow adequate daylight into new dwellings. limit views into habitable room windows and private open space of new and existing dwellings. provide a reasonable outlook from new dwellings. ensure the building setbacks provide appropriate internal amenity to meet the needs of residents. 		
standard D14	Ensure adequate daylight into new habitable room windows.	All habitable rooms have access to daylight.	✓
	Avoid direct views into habitable room windows and private open space of new and existing dwellings. Developments should avoid relying on screening to reduce views.	The building is adequately separated from surrounding buildings and the apartment layouts have been designed to maximise privacy within the apartments on existing and proposed buildings.	✓
	Provide an outlook from dwellings that creates a reasonable visual connection to the external environment.	Apartments have been located to enjoy views of the building surroundings and/or the proposed landscaped central courtyard. The central courtyard also provides improved amenity and outlook for the neighbouring building to the south.	✓
	Ensure the dwellings are designed to meet the objectives of Clause 58.		✓



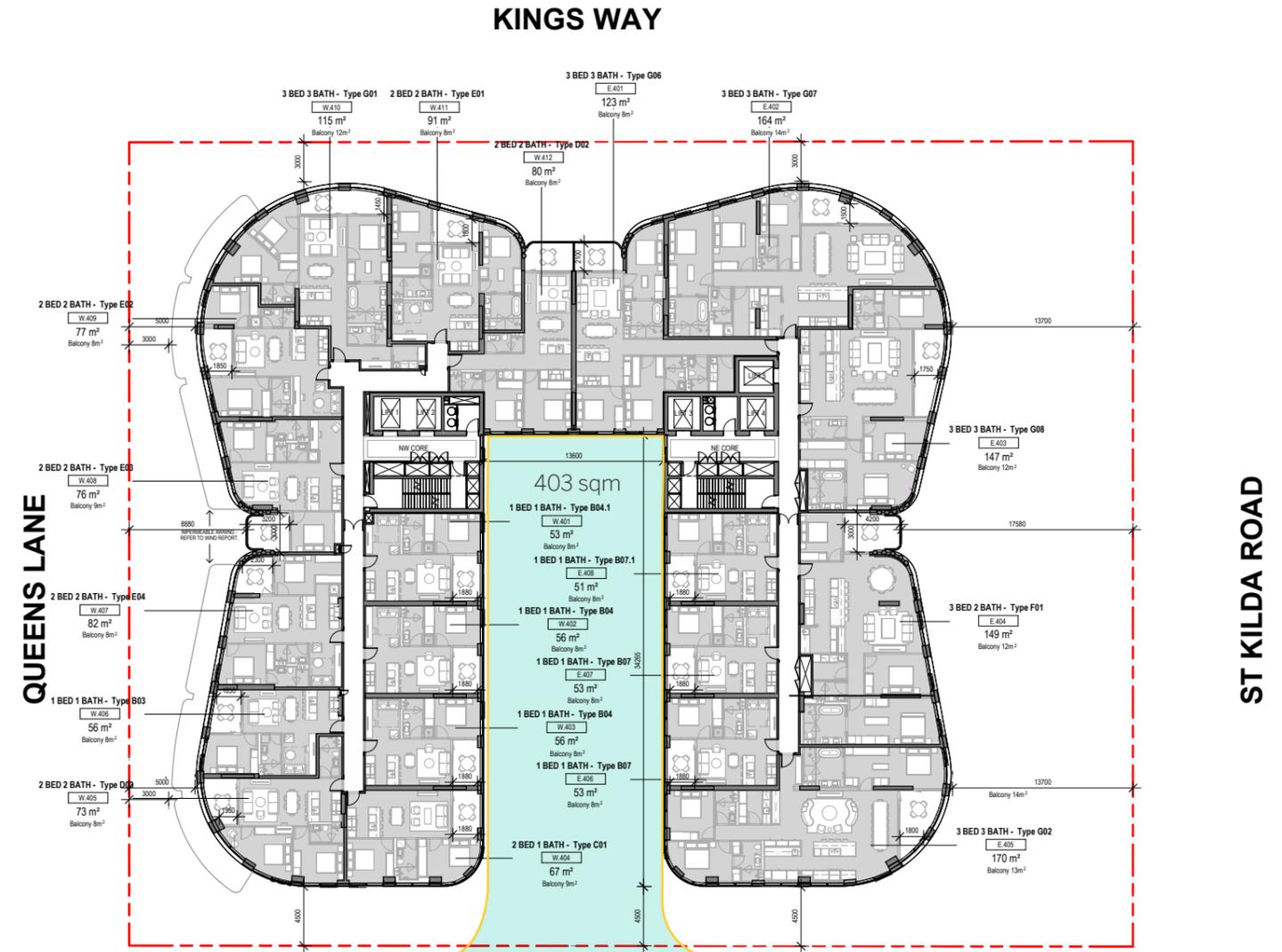
Clause 58.03-2 Communal open space

Item Description	Notes	Proposal Complies
COMMUNAL OPEN SPACE		
Objective 58.03-2	The standard seeks to: <ul style="list-style-type: none"> provide communal open space that meets the recreation and amenity needs of residents. ensure that communal open space is accessible, functional, and is easily maintained. ensure that communal open space is integrated with the layout of the development and enhances resident amenity. 	
Standard D7	A development of 10 or more dwellings should provide a minimum area of communal outdoor open space of 30sqm.	Refer to communal open space diagram ✓
	If a development contains 13 or more dwellings, the development should also provide an additional minimum area of communal open space of 2.5sqm per dwelling, or 220sqm, whichever is the lesser. This additional area may be indoors or outdoors and consist of multiple separate areas of communal open space.	Development provides a total of 403 sqm of communal open space for residents (1.36 sqm per apartment), in addition to 1,918 sqm of indoor amenity (6.48 sqm per apartment). The development also provides significant landscaped areas on the ground floor which can be accessed by the public, as well as a number of significant local public spaces located within walking distance, such as Fawkner Park (200m away), Albert Park (300m away) and the Royal Botanic Gardens (1km away). ✓
	Communal open space should be accessible to all residents.	The outdoor spaces on Level 2 are accessible by all residents. ✓
	Communal open space should be a usable size, shape and dimension.	✓
	Communal open space should be capable of efficient management.	✓
	Communal open space should be located to provide passive surveillance, where appropriate.	✓
	Communal open space should be located to provide outlook for as many dwellings as practicable.	The outdoor spaces on Level 2 provide outlook for apartments facing the courtyard from both the development as well as its neighbour to the South. ✓
	Communal open space should be located to avoid overlooking into habitable rooms and the private open space of new dwellings.	Refer to landscape report for further information. ✓
	Communal open space should be located to minimise noise impacts on new and existing dwellings.	The central courtyard provides separation and privacy between dwellings. ✓
	Any area of communal outdoor open space should be landscaped and include canopy cover and trees.	Refer to Landscape Report. ✓

Clause 58.03-2
 Communal open space



GROUND LEVEL



LEVEL 2

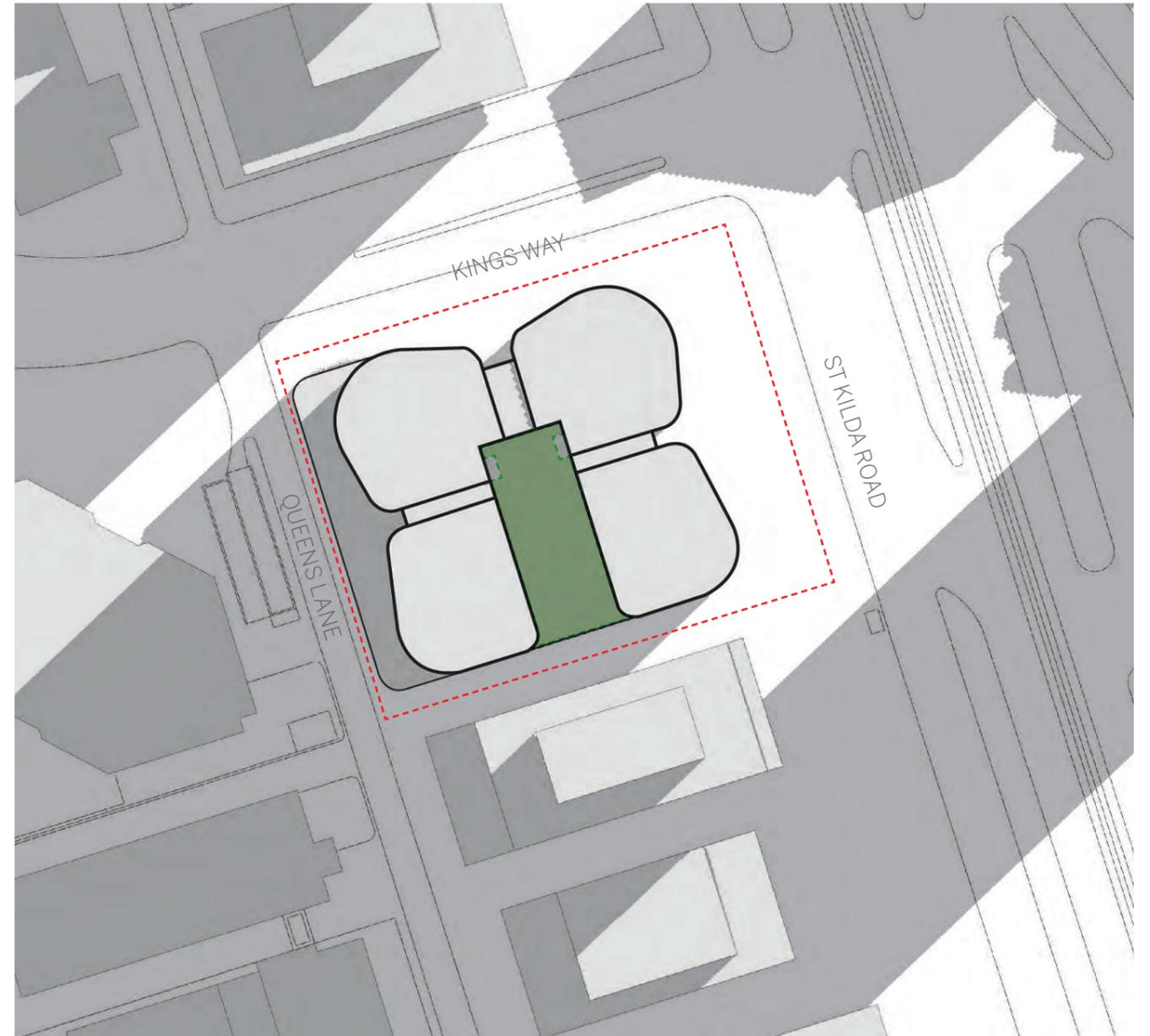
LEGEND

-  Outdoor Green Space
-  Communal Open Space



Clause 58.03-3 Solar access to communal outdoor open space

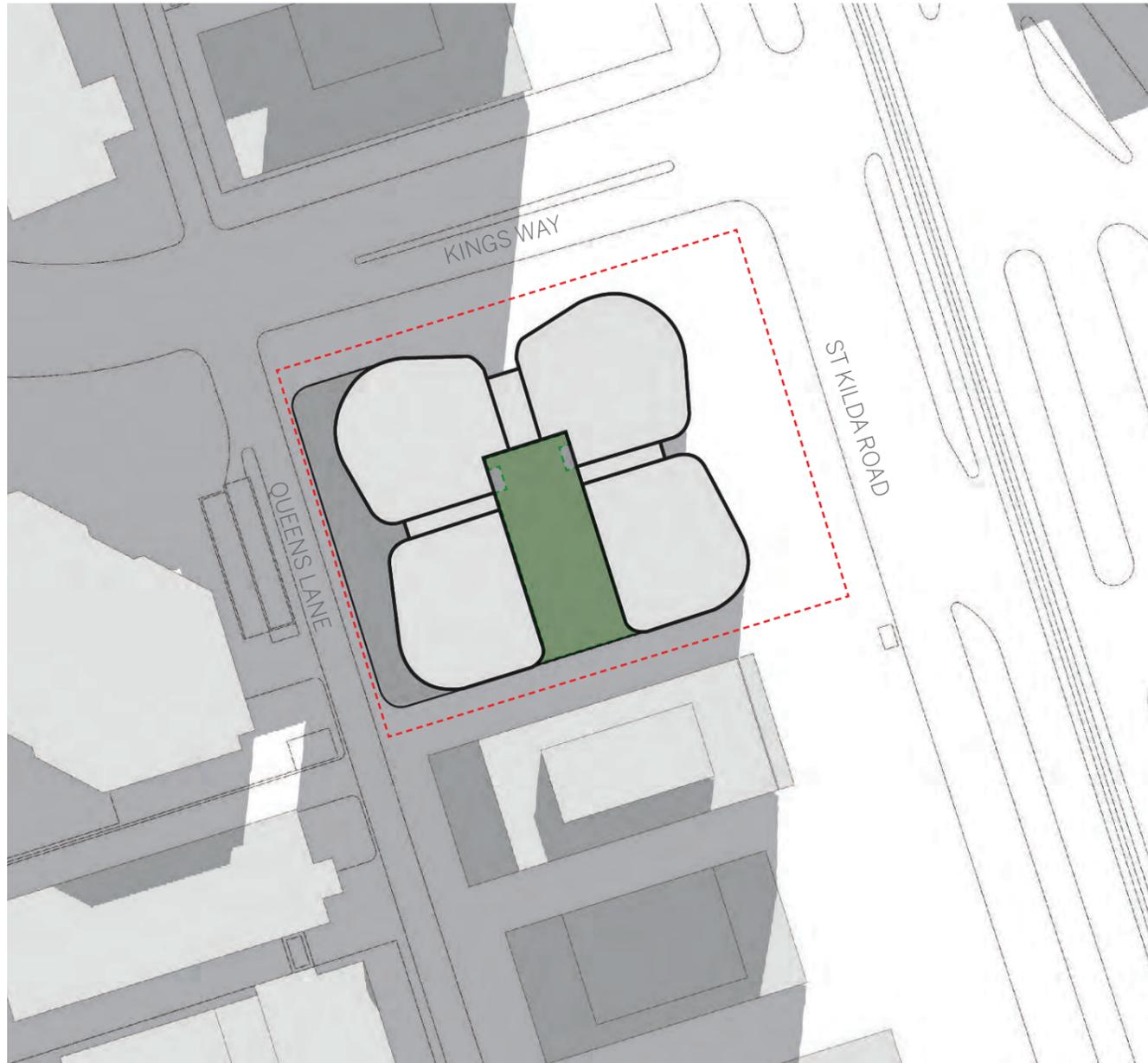
Item description	Notes	Proposal Complies
SOLAR ACCESS TO COMMUNAL OUTDOOR SPACE		
Objective 58.03-3	The standard seeks to allow solar access into communal outdoor open space.	✓
Standard D8	The communal outdoor open space should be located on the north side of a building, if appropriate.	✓
The communal outdoor courtyard is located in an appropriate location, creating a protected environment for the residents that also acts as an improved outlook and physical separation from the neighbour to the South. Outdoor space with direct solar access is provided at Ground level.		
At least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June.		



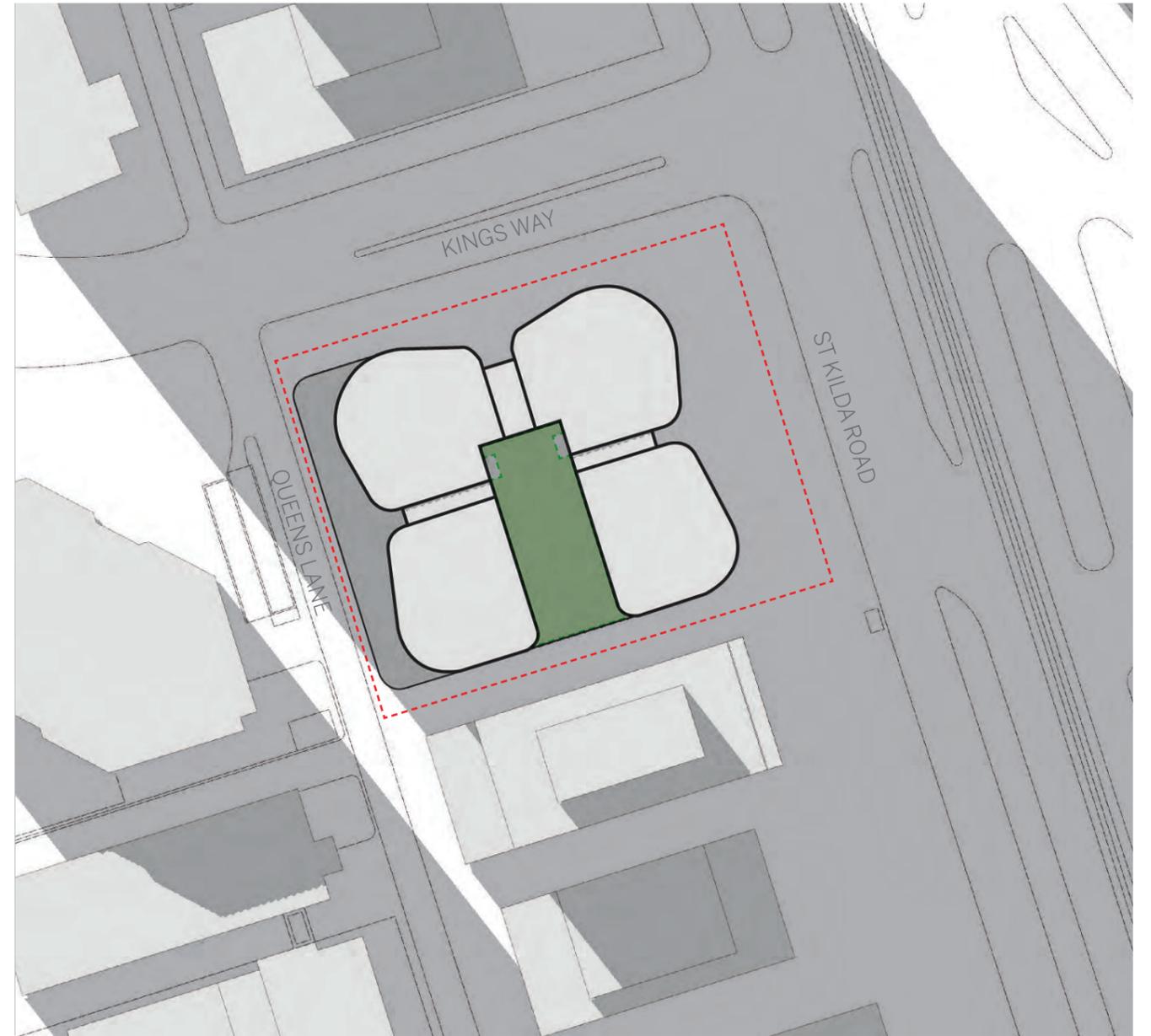
9.00am, 21 June (Winter Solstice)

LEGEND

- Property Boundary
- Communal Outdoor Open Space



12.00pm, 21 June (Winter Solstice)



3.00pm, 21 June (Winter Solstice)

LEGEND

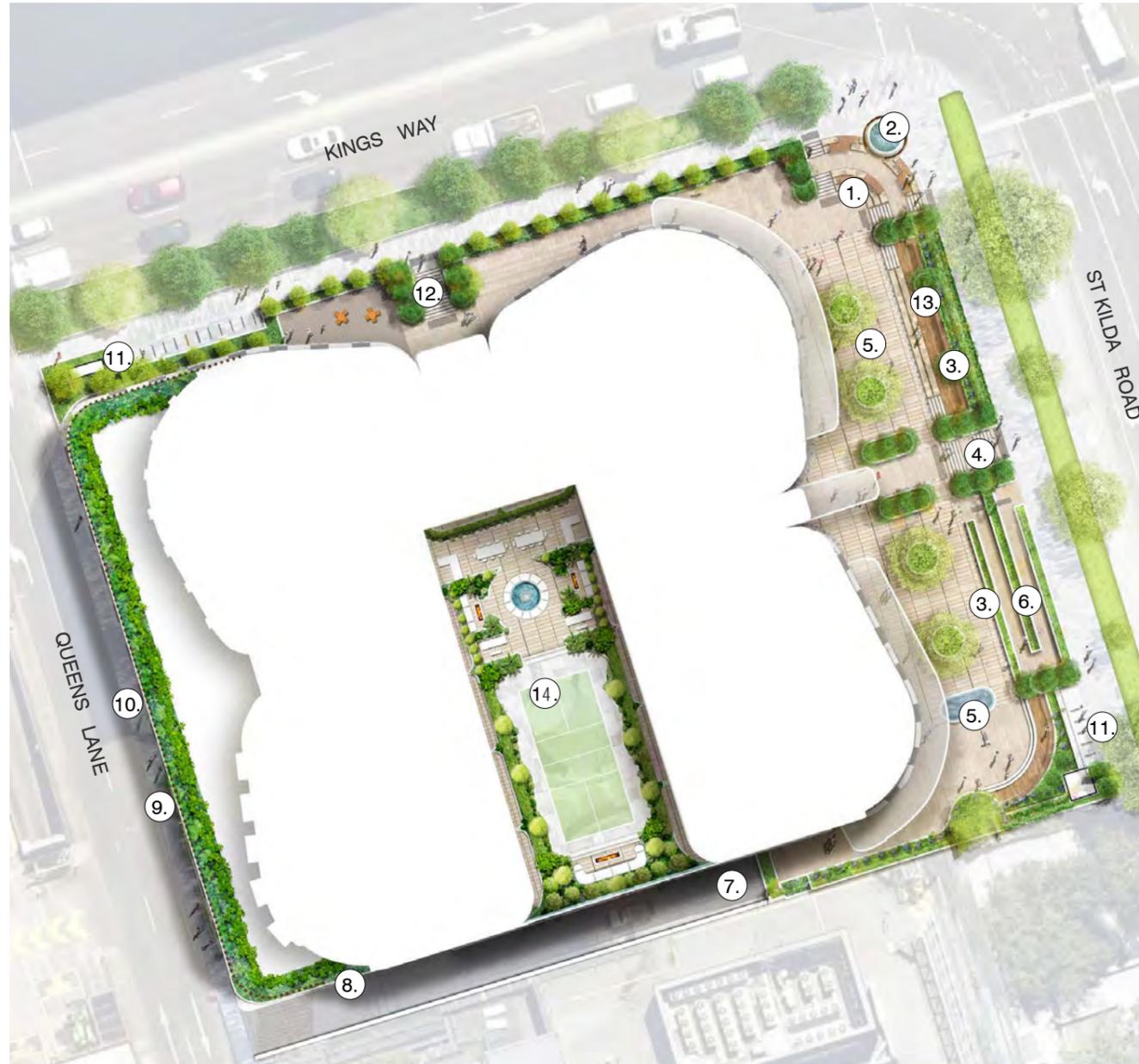
- Property Boundary
- Communal Outdoor Open Space



Clause 58.03-5 Landscaping

Item Description	Notes	Proposal Complies	
LANDSCAPING			
Objective 58.03-5	The standard seeks to: <ul style="list-style-type: none"> provide landscaping that supports the existing or preferred urban context of the area and reduces the visual impact of buildings on the streetscape. preserve existing canopy cover and support the provision of new canopy cover. ensure landscaping is climate responsive, supports biodiversity, wellbeing and amenity and reduces urban heat. 	✓	
Standard D10	Development should retain existing trees and canopy cover.	Where possible, street trees and canopies are maintained	✓
	Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.	Refer to landscape report	
	Development should provide the canopy cover and deep soil areas specified in Table D2 . Existing trees can be used to meet the canopy cover requirements of Table D2 .	Refer to landscape report	
	Development should provide canopy through canopy trees that are located in an area of deep soil specified in Table D3 . Where deep soil cannot be provided trees should be provided in planters specified in Table D3 .	Refer to landscape report	
	Development should provide canopy cover through canopy trees that are located in outdoor communal outdoor open space or common area or street frontages.	Refer to landscape report	
	Development should provide canopy through canopy trees that are consistent with the canopy diameter and height at maturity specified in Table D4 .	Refer to landscape report	
	Development should comprise smaller trees, shrubs and ground cover, including flowering native species.	Refer to landscape report	
	Development should include landscaping, such as climbing plants or smaller plants in planters, in the street frontage and in outdoor areas, including communal outdoor open space.	Refer to landscape report	
	Development should include landscaping, such as climbing plants or smaller plants in planters, in the street frontage and in outdoor areas, including communal outdoor open space.	Refer to landscape report	
	Development should shade outdoor areas exposed to summer sun through landscaping or shade structures and use paving and surface materials that lower surface temperatures and reduce heat absorption.	Refer to landscape report	
Development should be supported by irrigation systems which utilise alternative water sources such as rainwater, stormwater and recycled water.	Refer to landscape report		

Item Description	Notes	Proposal Complies
Development should protect any predominant landscape features of the area.	Refer to landscape report	
Development should take into account the soil type and drainage patterns of the site.	Refer to landscape report	
Development should provide a safe, attractive and functional environment for residents.	Refer to landscape report	
Development should specify landscape themes, vegetation (location and species), irrigation systems, paving and lighting.	Refer to landscape report	



BOTANIC NAME	COMMON NAME	Qty	Size	Mature size H x W	Minimum planter soil Volume/Depth (As required)
Trees					
<i>Betula pendula</i>	Silver birch	6	100L	12 x 6m	12m3/0.8m
<i>Callitris baileyi</i>	Bailey's Cypress	27	150L	10 x 4m	12m3/0.8m
<i>Cercis canadensis</i>	Forest Pansy	10	100L	5 x 6m	12m3/0.8m
<i>Eleocharpus emundii</i>	Eumundi Quandong	6	100L	10 x 5m	12m3/0.8m
<i>Eucalyptus pauciflora</i>	Little Snowman	2	100L	10 x 5m	12m3/0.8m
<i>Ficus hillii</i>	Flash Ornamental Fig	13	50L	10 x 4m	12m3/0.8m
<i>Lagerstroemia indica</i>	Crepe Myrtle	2	100L	8 x 4m	12m3/0.8m
<i>Melia azedarach</i>	China Berry	2	150L	10 x 8m	28m3/1.0m
<i>Ulmus parvifolia</i>	Chinese Elm	2	100L	13 x 10m	28m3/1.0m

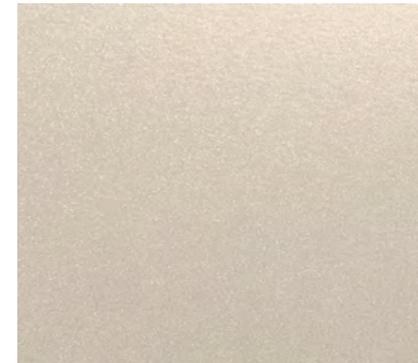
* Refer to the Landscape Town Planning Report for more detailed information.

LEGEND

- 1. Feature Stairs
- 2. Fountain
- 3. St Kilda Road Landscape Buffer
- 4. St Kilda Road Entry
- 5. Garden
- 6. Pedestrian Accessible Ramp
- 7. Feature Wall
- 8. Car Park Entry
- 9. Fire Booster Cupboard
- 10. Queens Lane Fire Egress
- 11. Bicycle Parking (Visitor)
- 12. Kings Way Entry
- 13. Outdoor Seating
- 14. Level 2 Communal Areas

Clause 58.06-4 External walls and materials

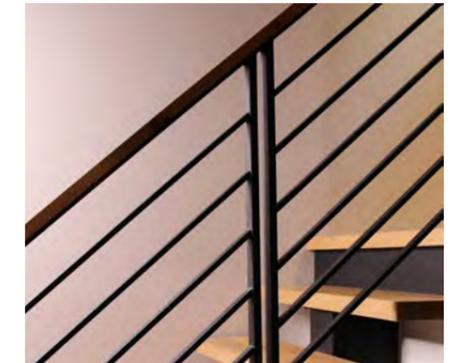
Item Description	Notes	Proposal Complies
EXTERNAL WALLS AND MATERIALS		
Objective 58.06-4	The standard seeks to: <ul style="list-style-type: none"> ensure external walls use materials appropriate to the existing urban context or preferred future development of the area. ensure external walls endure and retain their attractiveness. 	Refer to TP design report for further information
Standard D25	External walls should be finished with materials that do not easily deteriorate or stain.	✓
	External walls should be finished with materials that weather well over time.	✓
	External walls should be finished with materials that are resilient to the wear and tear from their intended use.	✓
	External wall design should facilitate safe and convenient access for maintenance.	✓



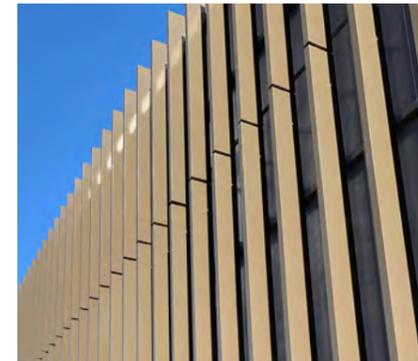
FT-101 FACADE (TOWER)
 Metal cladding, warm white colour



CO-201 FACADE (PODIUM)
 Masonry finish warm white colour
 Precast / Insitu concrete finish (match FT - 101)



PA-401 POWDERCOATING
 Metal balustrade, bronze colour



PA-402 POWDERCOATING
 Metal cladding, bronze colour



GL-101 DGU VISION GLASS
 High performance insulated glazing with low-e coating, clear



GL-103 CLEAR VISION GLASS (GF RETAIL)
 High performance insulated glazing with low-e coating, low iron clear



GL-104
 Fritted privacy glass, min. 75% obscure



SP-101
 Spandrel glass to match treated glass, 100% visual blockout



PV-101
 Dark grey masonry pavers, for site materials refer to landscape package

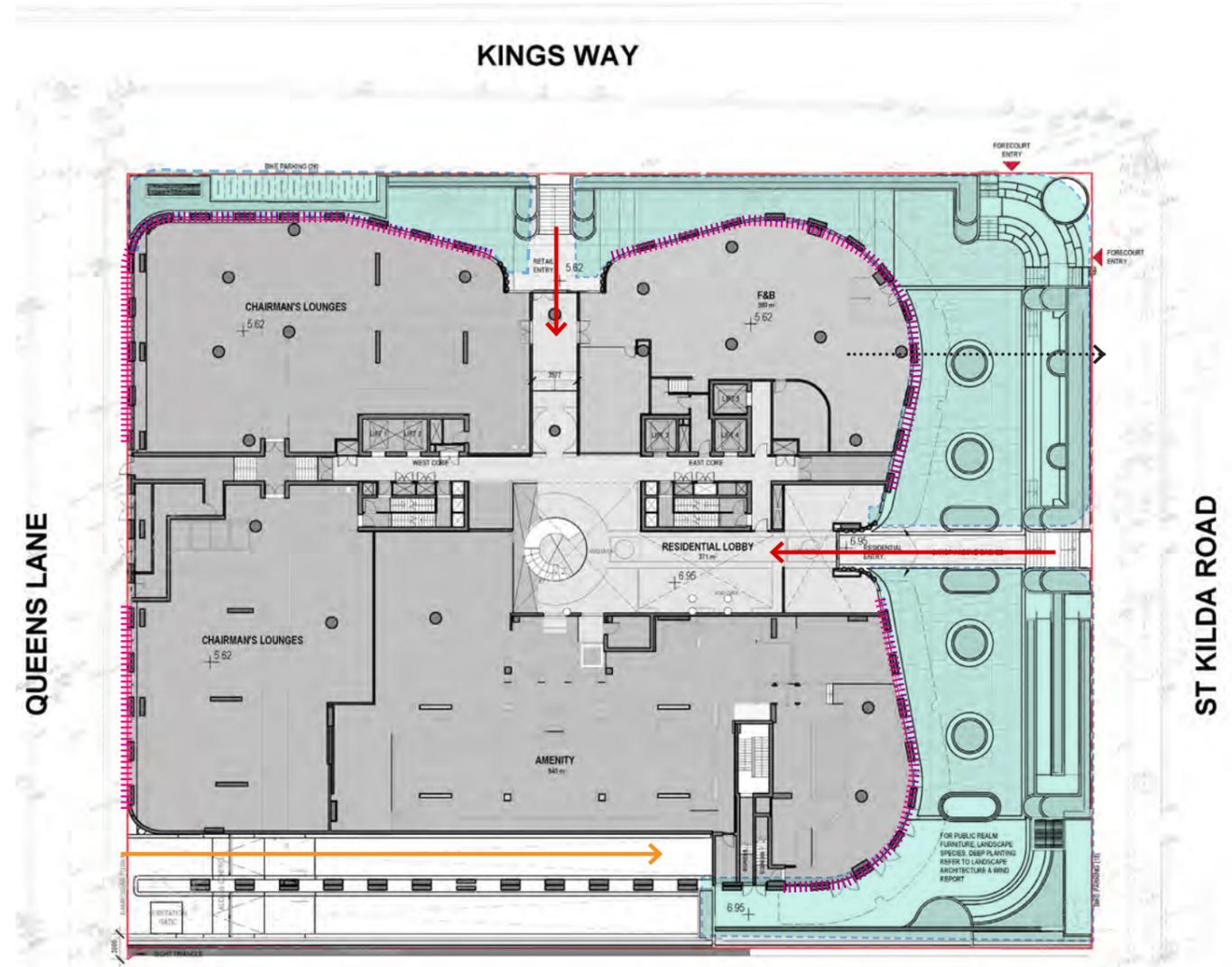
* Note Refer to Architectural Elevations for extended list of building external finishes

Clause 58.04-4 Wind impacts

Item description	Notes	Proposal Complies
WIND IMPACTS		
Objective 58.04-4	The standard seeks to ensure the built form, design and layout of development does not generate unacceptable wind impacts within the site or on surrounding land.	Refer to Wind Consultant's report for more details.
Standard D17	Development of five or more storeys, excluding a basement should not cause unsafe wind conditions specified in Table D6 in public land, publicly accessible areas on private land, private open space and communal open space within a distance of half the greatest length of the building, or half the total height of the building measured outwards on the horizontal plane from the ground floor building façade, whichever is greater.	✓
	Development of five or more storeys, excluding a basement should achieve comfortable wind conditions specified in Table D6 in public land and publicly accessible areas on private land within a distance of half the greatest length of the building, or half the total height of the building measured outwards on the horizontal plane from the ground floor building façade, whichever is greater..	✓
	Trees and landscaping should not be used to mitigate wind impacts. This does not apply to sitting areas, where trees and landscaping may be used to supplement fixed wind mitigation elements.	✓
	Wind mitigation elements, such as awnings and screens should be located within the site boundary, unless consistent with the existing urban context or preferred future development of the area.	All awnings and screens are located within the site boundary ✓

Clause 58.02-5 Integration with the street

Item Description	Notes	Proposal Complies
INTEGRATION WITH THE STREET		
Objective 58.02-5	The standard seeks to: <ul style="list-style-type: none"> integrate the layout of development with the street. support development that activates street frontage. 	
Standard D5	Development should be oriented to front existing and proposed streets.	✓
	Along street frontage, development should incorporate pedestrian entries, windows, balconies or other active spaces.	✓
	Along street frontage, development should limit blank walls.	✓
	Along street frontage, development should limit high front fencing, unless consistent with the existing urban context.	✓
	Along street frontage, development should provide low and visually permeable front fences, where proposed.	✓
	Along street frontage, development should conceal car parking and internal waste collection areas from the street.	✓ Vehicular parking and service zones are concealed on Basement 1.
	Development next to existing public open space should be designed to complement the open space and facilitate passive surveillance.	N/A



GROUND LEVEL

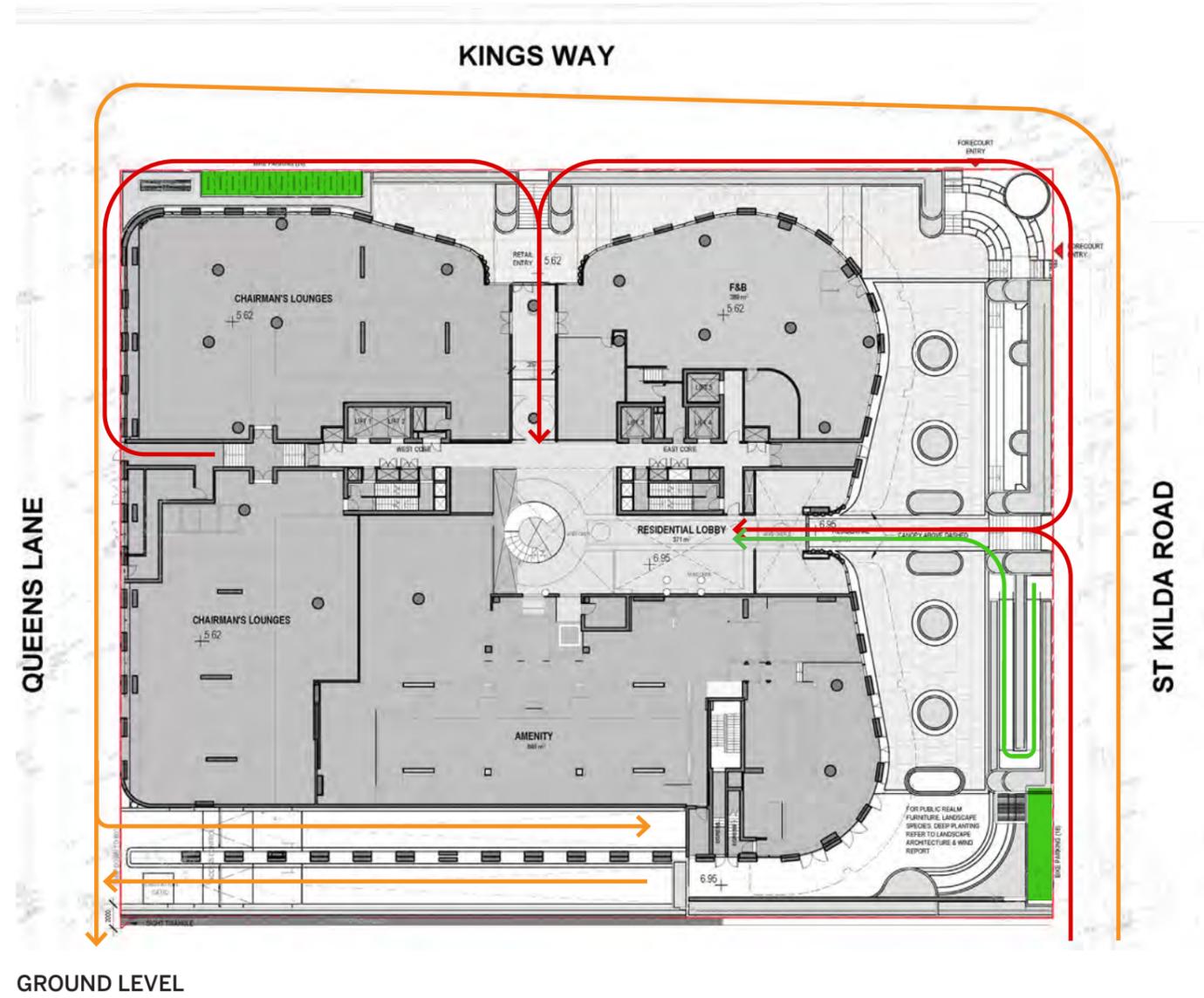
LEGEND

- Open Spaces as Front Gardens
- Active Frontage
- Pedestrian Entry
- Vehicle Entry

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Clause 58.03-6
Access

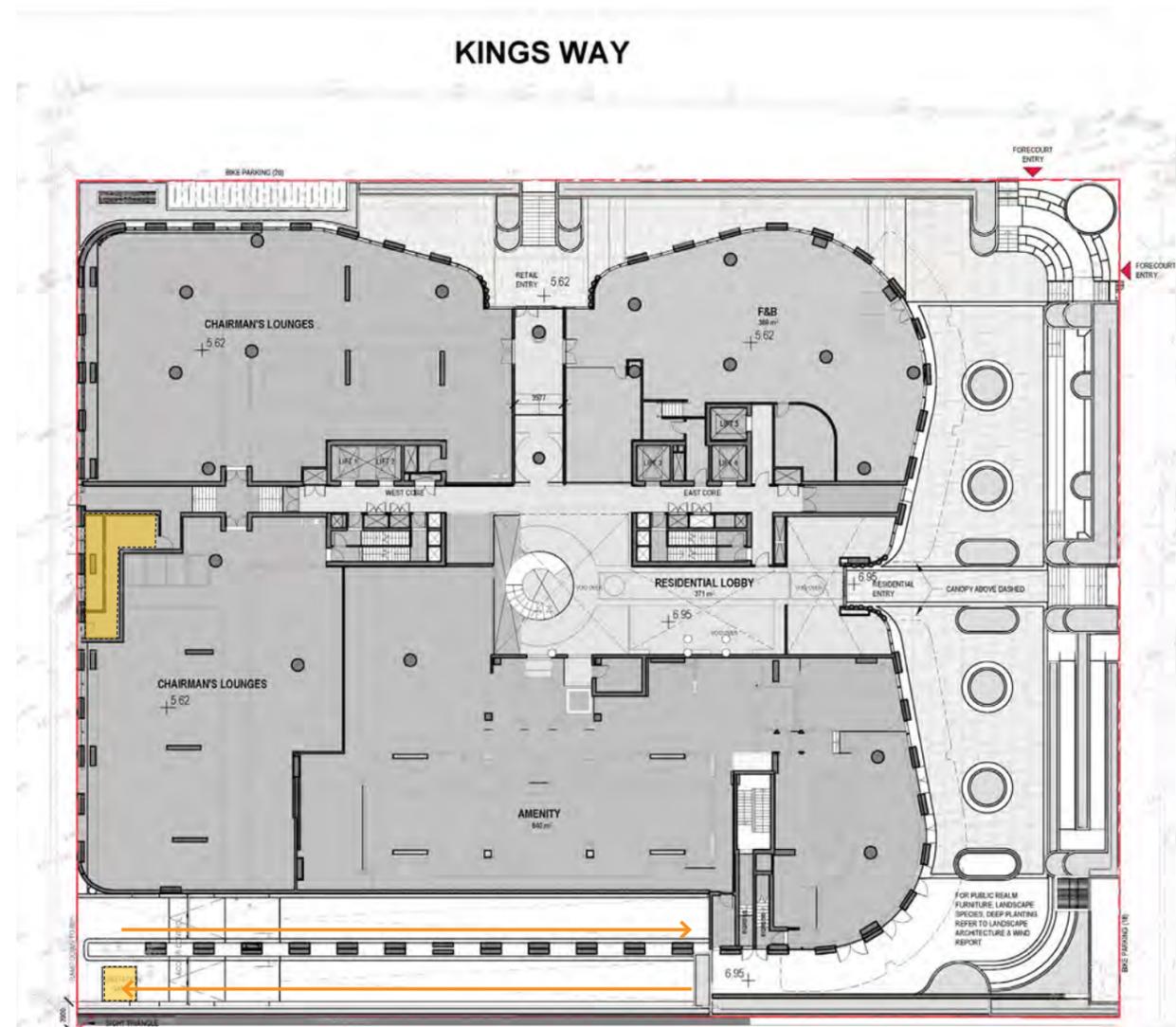
Item Description	Notes	Proposal Complies	
ACCESS			
Objective 58.03-6	The standard seeks to <ul style="list-style-type: none"> ensure that vehicle crossovers are designed and located to provide safe access for pedestrians, cyclists and other vehicles. ensure the vehicle crossovers are designed and located to minimise visual impact. 		
Standard D11	Vehicle crossovers should be minimised.	✓	
	Car parking entries should be consolidated, minimised in size, integrated with the façade and where practicable located at the side or rear of the building.	✓	
	Pedestrian and cyclist access should be clearly delineated from vehicle access.	A generous drop off area has been provided on Basement 1, minimising the impact on the street network. Access for pedestrians and cyclists has been provided on ground floor, separate to other vehicular access routes.	✓
	The location of crossovers should maximise pedestrian safety and the retention of on-street car parking spaces and street trees.	✓	
	Developments must provide for access for service, emergency and delivery vehicles.	Direct access to the car parking and loading areas is provided via the South entry/ exit cross over.	✓



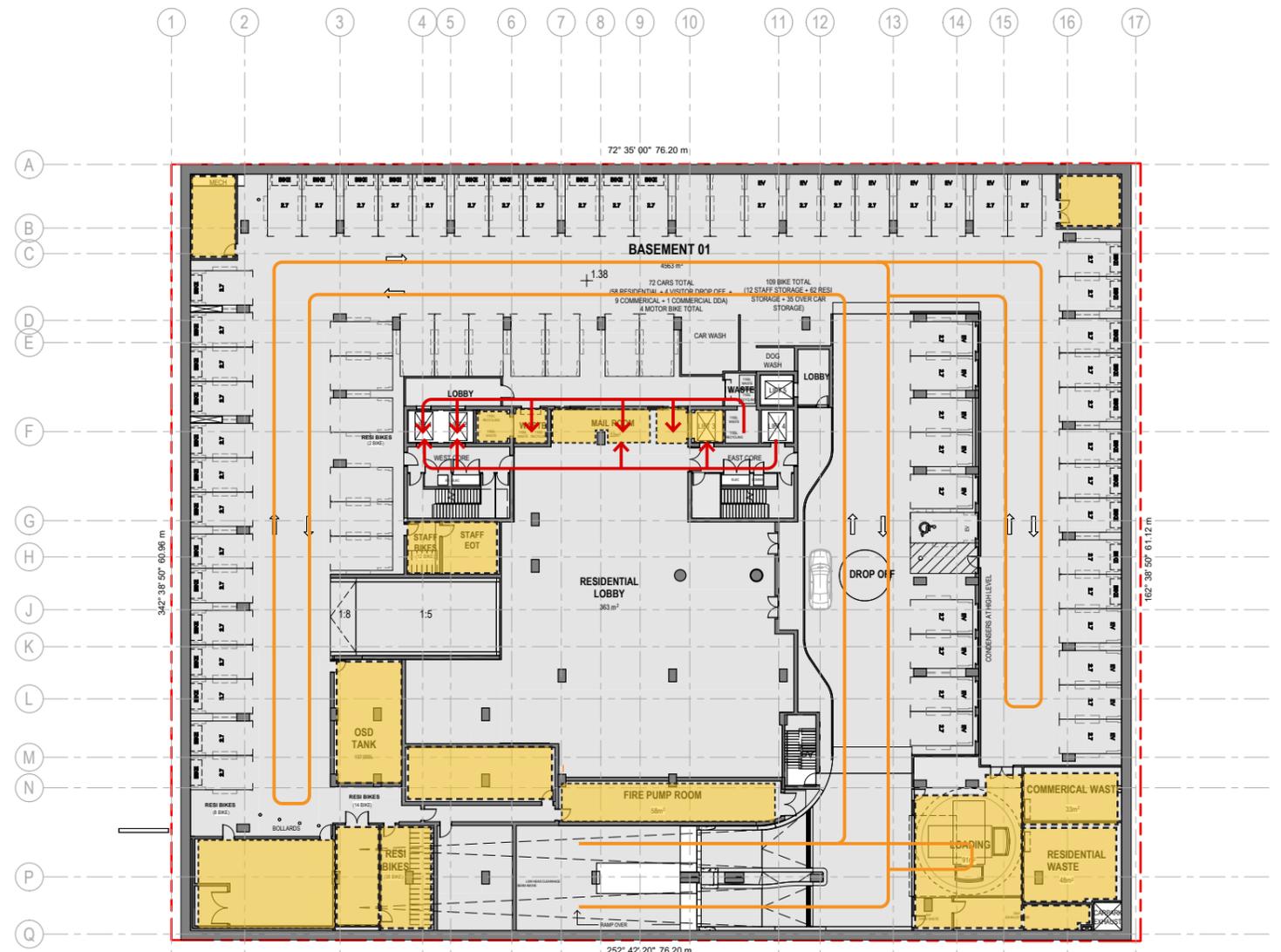
Clause 58.06-2
Site services

Item Description	Notes	Proposal Complies
SITE SERVICES		
Objective 58.06-2	The standard seeks to: <ul style="list-style-type: none"> • ensure that site services are accessible and can be installed and maintained. • ensure that site services and facilities are visually integrated into the building design or landscape. 	
Standard D23	Development should provide adequate space (including easements where required) for site services to be installed and maintained efficiently and economically.	✓
	Meters and utility services should be designed as an integrated component of the building or landscape.	✓
	Mailboxes and other site facilities should be adequate in size, durable, water-protected, located for convenient access and integrated into the overall design of the development.	✓

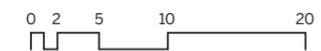
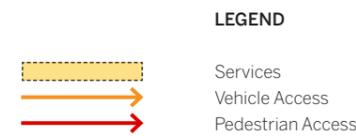
Clause 58.06-2
Site services



GROUND LEVEL



BASEMENT 1

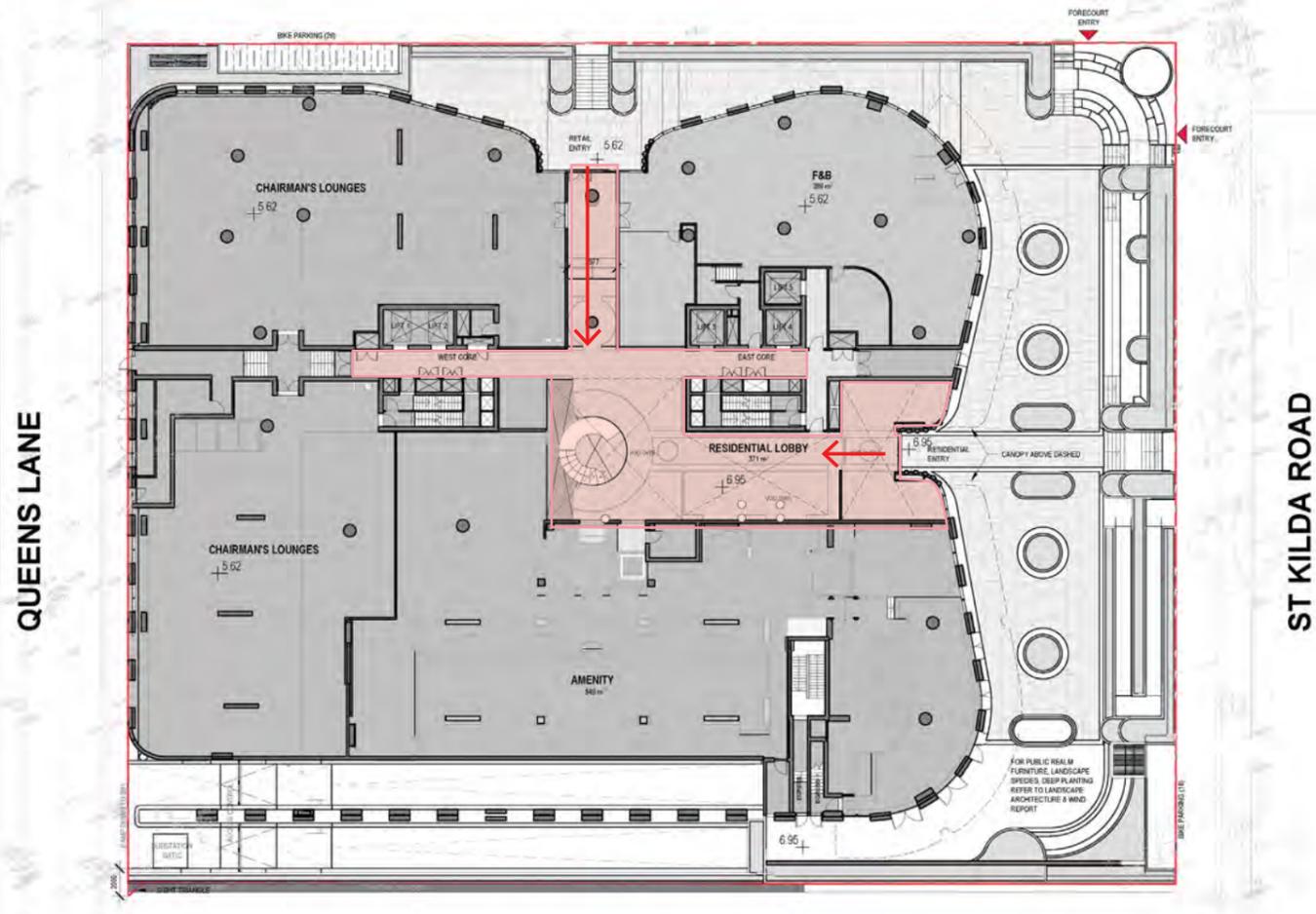


Clause 58.05-2 Building entry and circulation

Item Description	Notes	Proposal Complies	
BUILDING ENTRY AND CIRCULATION			
Objective 58.05-2	The standard seeks to <ul style="list-style-type: none"> provide each dwelling and building with its own sense of identity. ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents. ensure internal communal areas provide adequate access to daylight and natural ventilation. 		
Standard D19	<p>Entries to dwellings and buildings should be visible and easily identifiable.</p> <p>Entries to dwellings and buildings should provide shelter, a sense of personal address and a transitional space around the entry.</p> <p>The layout and design of buildings should clearly distinguish entrances to residential and non-residential areas.</p> <p>The layout and design of buildings should provide windows to building entrances and lift areas.</p> <p>The layout and design of buildings should provide visible, safe and attractive stairs from the entry level to encourage use by residents.</p> <p>The layout and design of buildings should provide common areas and corridors that include at least one source of natural light and natural ventilation.</p> <p>The layout and design of buildings should provide common areas and corridors that avoid obstruction from building services.</p> <p>The layout and design of buildings should provide common areas and corridors that maintain clear sight lines.</p>	<p>The building design signifies the entry points by defining break in the facade on each street frontage. Within the building, the resident accesses a naturally lit and ventilated common corridor upon exit from the lift. From there, a clear path takes the resident to each of the dwellings.</p> <p>Residential entry experiences are curated across the precinct: a canopy is provided at the threshold onto each street entry and the transitional experience is further enhanced by the landscaped arrival.</p> <p>The entry lobby, common corridor and lift areas on upper levels benefit from windows with access to daylight.</p> <p>Stairs are conveniently located adjacent to the main lifts and a sculptural stair connects the Basement 1 lobby with the main street lobby at Ground level, as well as the common amenities at Level 1, encouraging use of the stairs.</p> <p>All residential corridors and common spaces have access to daylight and natural ventilation.</p> <p>Building services are housed within the core and do not impede the common areas.</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>

Clause 58.05-2
Building entry and circulation

KINGS WAY

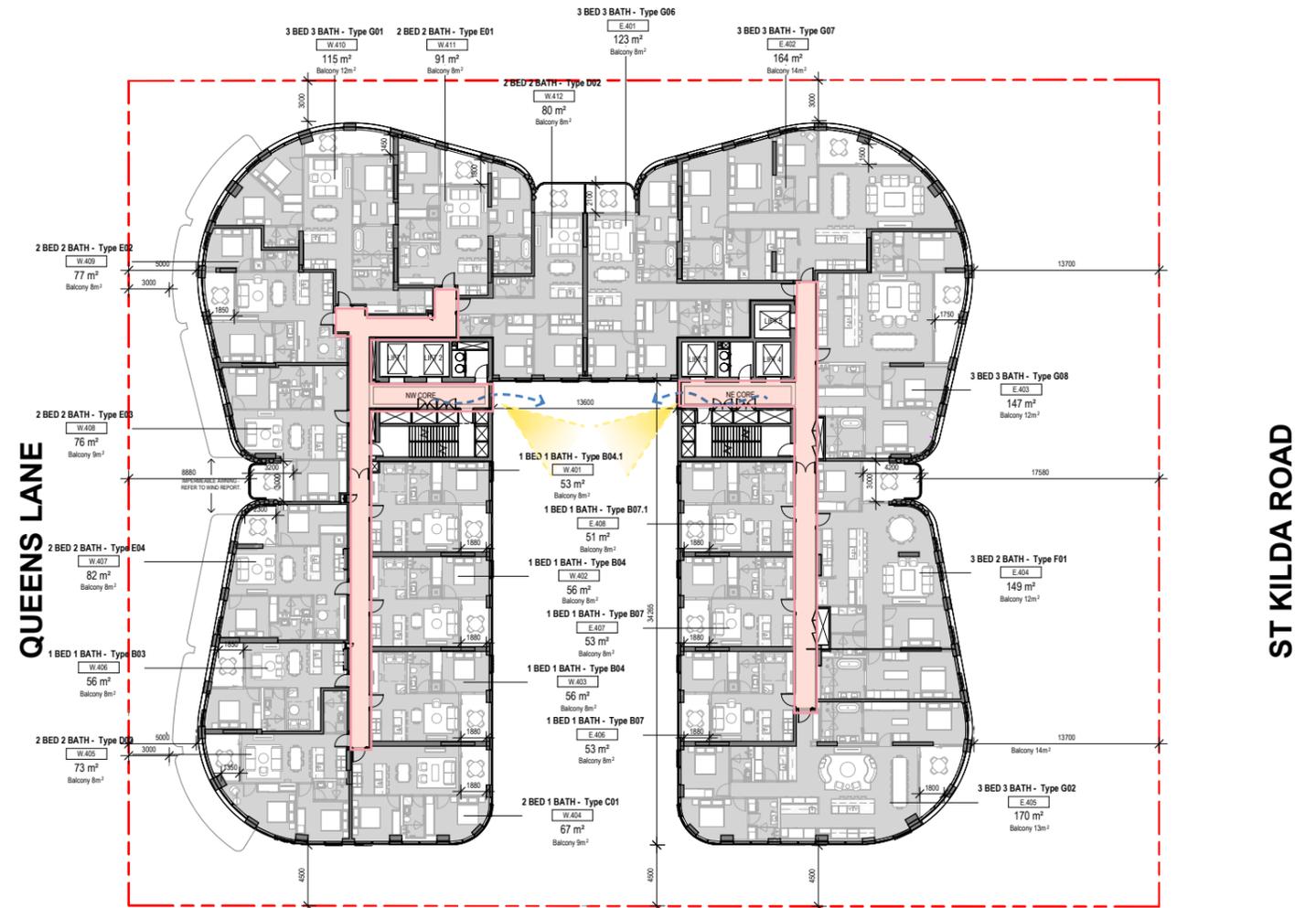


GROUND LEVEL

LEGEND

- Common Corridor
- Residential Entry

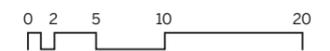
KINGS WAY



TYPICAL RESIDENTIAL LEVEL 4

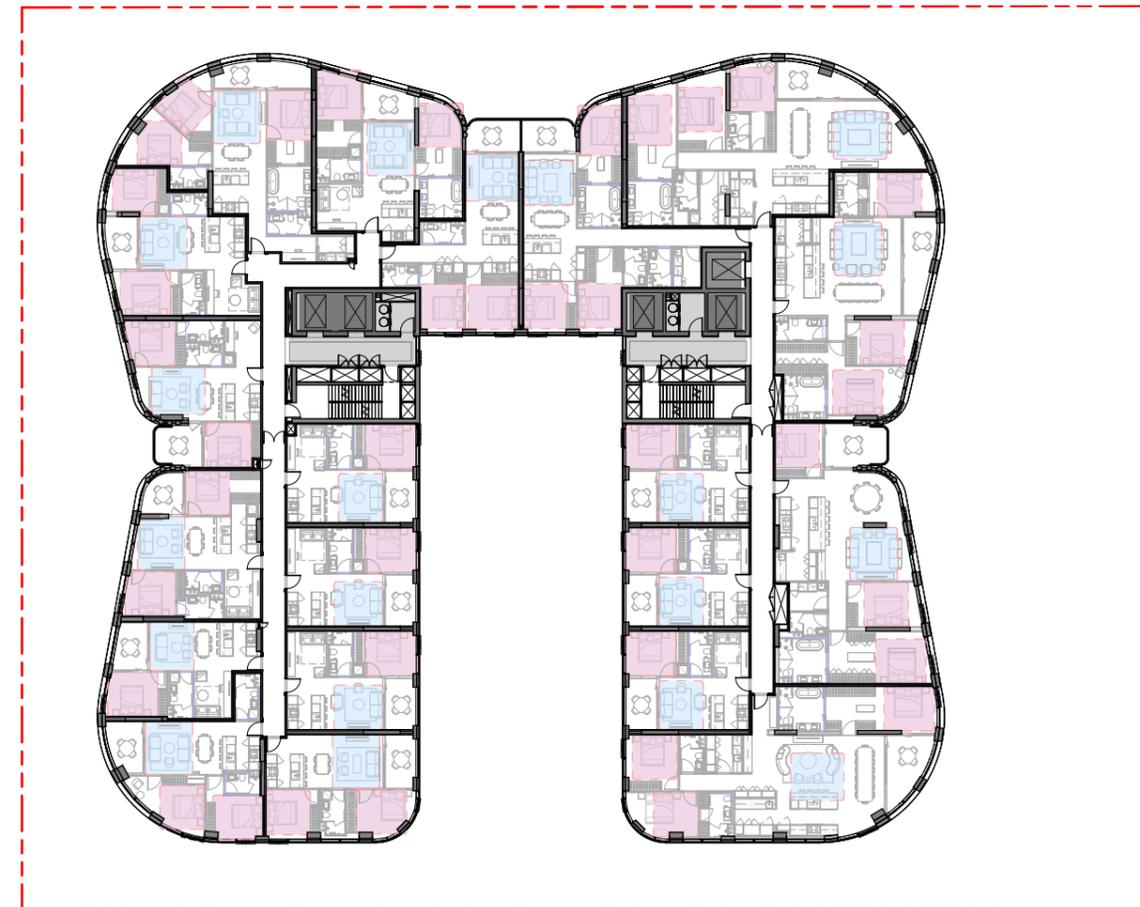
LEGEND

- Common Corridor
- Access to Light and View
- Ventilation



Clause 58.04-3 Noise impacts

Item Description	Notes	Proposal Complies
SECTION 2 - BUILDING PERFORMANCE		
NOISE IMPACTS		
Objective 58.04-3	The standard seeks to: <ul style="list-style-type: none"> contain noise sources in developments that may affect existing dwellings or small second dwellings. protect residents from external and internal noise sources. 	
Standard D16	Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings or small second dwellings.	Mechanical plants are located on the roof and, where possible, away from bedrooms of immediately adjacent existing dwellings. ✓
	The layout of new dwellings and buildings should minimise noise transmission within the site.	✓
	Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings.	The majority of bedrooms, living rooms and private open spaces is located away from the lift core. ✓
	New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources.	Refer to Acoustic Report
	Buildings within a noise influence area specified in Table D5 should be designed and constructed to achieve noise levels below 35dB(A) for bedrooms, assessed as an LAeq over 8 hours (from 10pm to 6am) (assessed in unfurnished rooms with a finished floor and windows closed).	Refer to Acoustic Report
	Buildings within a noise influence area specified in Table D5 should be designed and constructed to achieve noise levels below 40dB(A) for living areas, assessed LAeq over 16 hours (from 6am to 10pm) (assessed in unfurnished rooms with a finished floor and windows closed).	Refer to Acoustic Report
	Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements.	N/A



TYPICAL RESIDENTIAL LEVEL 4

LEGEND

- Lift Cores
- Bedrooms
- Living Areas



Clause 58.03-1 Energy efficiency

Item Description	Notes	Proposal Complies
ENERGY EFFICIENCY		
Objective 58.03-1	The standard seeks to: <ul style="list-style-type: none"> achieve and protect energy efficient dwellings and buildings. ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. ensure dwellings achieve adequate thermal efficiency. 	Refer to ESD Report
Standard D6	Buildings should be oriented to make appropriate use of solar energy.	✓
	Buildings should be sited and designed to ensure that the energy efficiency of existing dwellings or small second dwellings on adjoining lots is not unreasonably reduced.	The building form considers the neighbouring buildings and ensures amenity is provided to those. ✓
	Living areas and private open space should be located on the north side of the development, if practicable.	✓
	Developments should be designed so that solar access to north-facing windows are optimised.	✓
	Dwellings located in a climate zone identified in Table D1 (Climate 21 - Melbourne) should not exceed the maximum NatHERS annual cooling load specified in the table (30MJ/M2).	✓

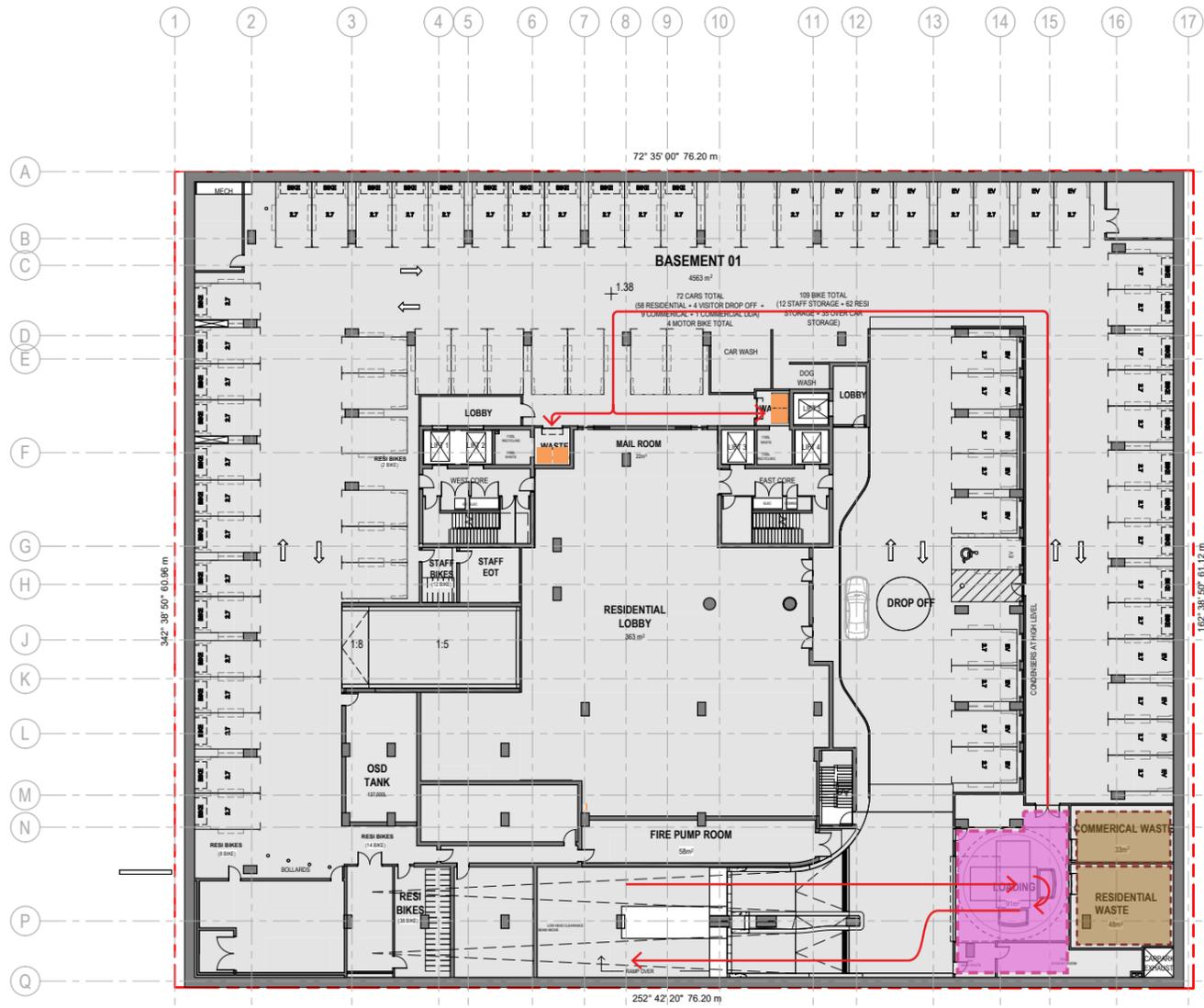
Clause 58.03-8 Integrated water and stormwater management

Item Description	Notes	Proposal Complies
INTEGRATED WATER AND STORMWATER MANAGEMENT		
Objective 58.03-8	The standard seeks to: <ul style="list-style-type: none"> encourage the use of alternative water sources such as rainwater, stormwater and recycled water. facilitate stormwater collection, utilisation and infiltration within the development. encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site. 	Refer to ESD Report
Standard D13	Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use.	✓
	Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the water authority.	✓
	The stormwater management system should be designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).	✓
	The stormwater management system should be designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas.	✓

Clause 58.06-3 Waste and recycling

Item Description	Notes	Proposal Complies
WASTE AND RECYCLING		
Objective 58.06-3	The standard seeks to <ul style="list-style-type: none"> ensure dwellings are designed to encourage waste recycling. ensure that waste and recycling facilities are accessible, adequate and attractive. ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm. 	Refer to Waste Management Plan
Standard D24	Developments should include dedicated areas for waste and recycling enclosures which are adequate in size, durable, waterproof and blend in with the development.	Dedicated waste areas are located on Basement Level 01. ✓
	Developments should include dedicated areas for waste and recycling enclosures which are adequately ventilated.	Adequate ventilation is provided. ✓
	Developments should include dedicated areas for waste and recycling enclosures which are located and designed for convenient access by residents and made easily accessible to people with limited mobility.	The waste and recycling areas on each apartment level are located within an enclosure designed to provide access to people with limited mobility. ✓ The waste areas on Basement 01 can be accessed via lifts.
	Adequate facilities for bin washing. These areas should be adequately ventilated.	Bin washing can be undertaken in the loading dock. ✓
	Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate.	✓
	Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing.	✓
	Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing.	Adequate space for entry and egress on a forward direction has been provided. Refer to Traffic Report, Waste Management Plan and Basement 01 plan for further information. ✓
	Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate.	✓
	Waste and recycling management facilities should be designed and managed in accordance with a Waste Management Plan approved by the responsible authority and, designed to meet the better practice design options specified in Waste Management and Recycling in Multi-unit Developments (Sustainability Victoria, 2019).	✓
	Waste and recycling management facilities should protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements.	✓

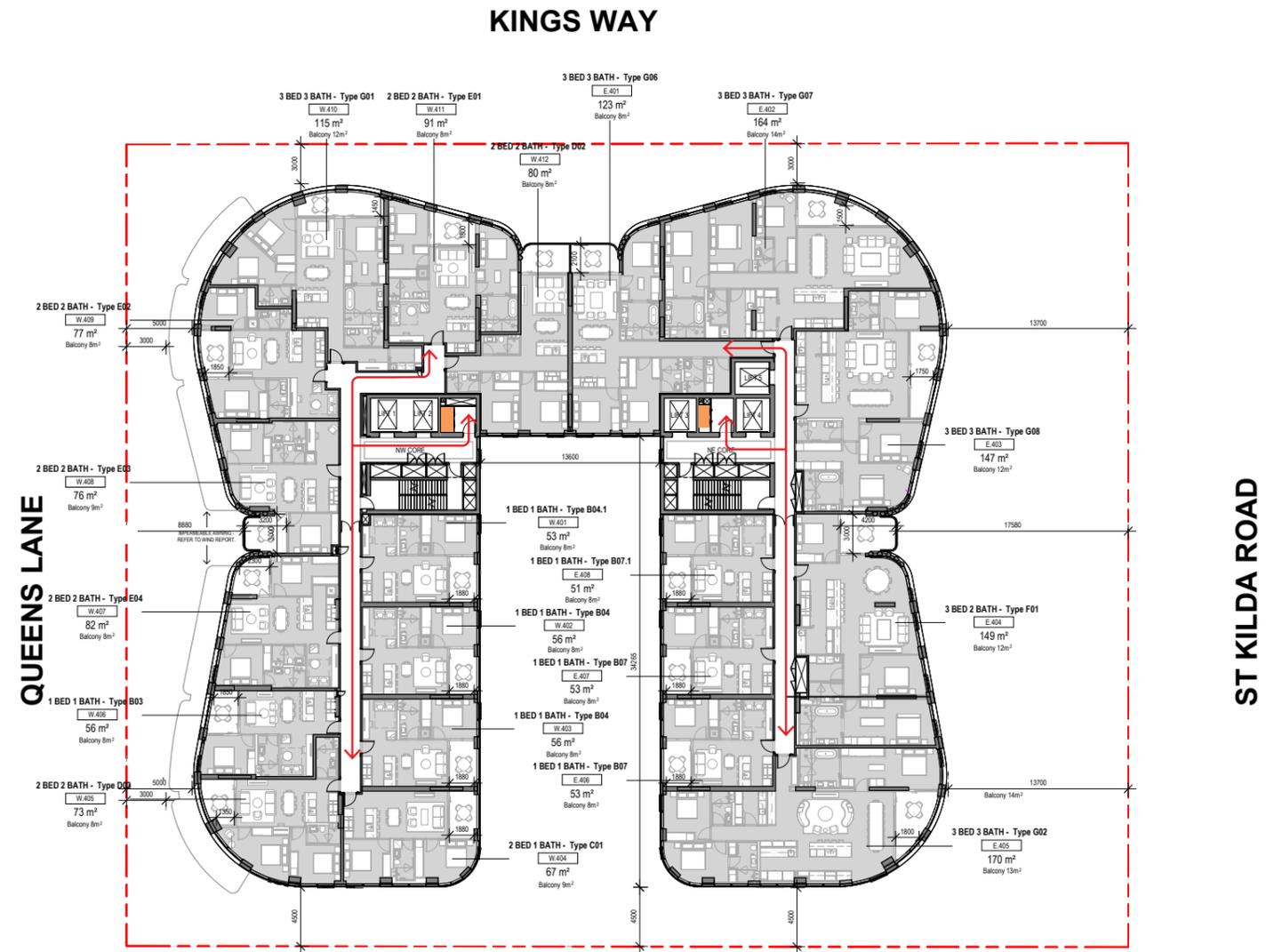
Clause 58.06-3
Waste and recycling



BASEMENT 1

LEGEND

-  Waste & Recycling Chutes
-  Waste Rooms
-  Loading Dock
-  Waste & Recycling Collection Pathways



TYPICAL RESIDENTIAL LEVEL 4

LEGEND

-  Waste & Recycling Chutes
-  Resident Access



Clause 58.07-1 Functional layout

Item Description	Notes	Proposal Complies
SECTION 3 - DWELLING AMENITY		
FUNCTIONAL LAYOUT		
Objective 58.07-1	The standard seeks to ensure dwellings provide functional areas that meet the needs of residents.	
Standard D26	Bedrooms should meet the minimum internal room dimensions specified in Table D11 .	All the apartments comply and/or exceed the minimum bedroom dimensions. In the instances where the minimum clearances aren't accommodated in a squared form (due to shape of floorplate or others) a similar or greater area has been provided in a functional form and/or as part of a walk-in-robe. Refer to functional layout diagram.
	Bedrooms should provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe.	All wardrobes in the apartments are in addition to the minimum bedroom dimensions. A large proportion of bedrooms have accommodated walk-in wardrobes.
	Living areas (excluding dining and kitchen areas) should meet the minimum internal room dimensions specified in Table D12 .	All the apartments comply and/or exceed the minimum living areas.

Clause 58.07-2 Room depth

Item Description	Notes	Proposal Complies
ROOM DEPTH		
Objective 58.07-2	The standard seeks to allow adequate daylight into single aspect habitable rooms.	
Standard D27	Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height. Room depth is measured from the external surface of the habitable room window to the rear wall.	✓
	The depth of a single aspect, open plan, habitable room may be increased to 9 metres if it combines the living area, dining area and kitchen, the kitchen is located furthest from the window and the ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen. Room depth is measured from the external surface of the habitable room window to the rear wall.	✓

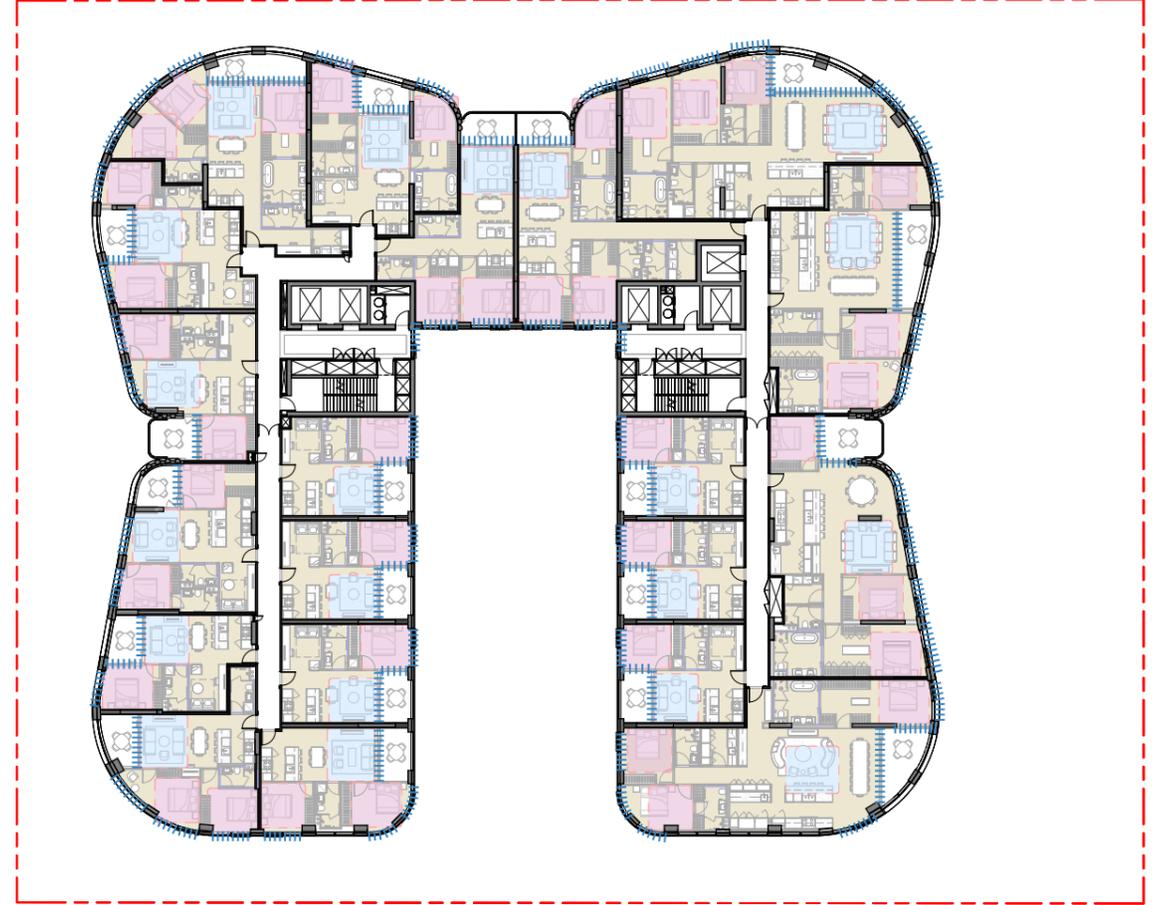
Clause 58.07-3 Windows

Item Description	Notes	Proposal Complies
WINDOWS		
Objective 58.07-3	The standard seeks to allow adequate daylight into new habitable room windows.	
Standard D28	Habitable rooms should have a window in an external wall of the building.	All habitable rooms in all apartment types are provided with windows to external walls.
	A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky. The secondary area should be: <ul style="list-style-type: none"> a minimum width of 1.2m. a maximum depth of 1.5 times the width, measured from the external surface of the window. 	✓

Clause 58.07-1, 58.01-3
Functional layout, Windows



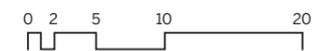
LEVEL 1
 16 units showcased (5.6% of all apartments shown)



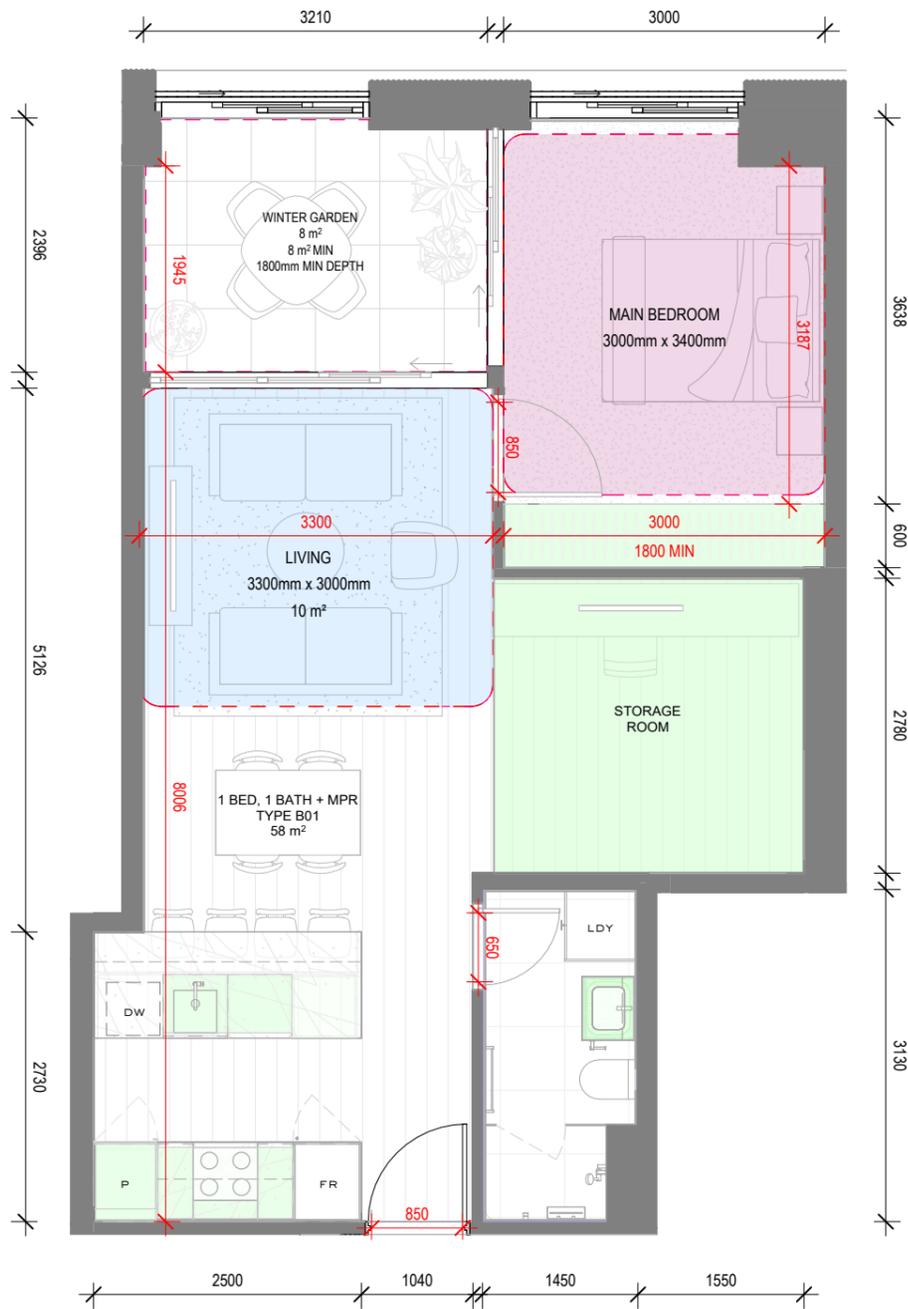
TYPICAL RESIDENTIAL LEVEL 4
 20 units showcased (6.7% of all apartments shown)

LEGEND

-  Critical Dimension
-  Bedroom with Dimensions (3.4mx3m Master Bedrooms; 3mx3m Others)
-  Living Areas Excluding Dining and Kitchen (1 Bed Minimum 3.3mx3.3m; 2 or More Beds 3.6mx 3.3m)
-  Habitable Room Windows in External Walls



Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B01
1 Apartment

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B01					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B01	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 0m³
	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m³ TOTAL		
	3 BEDROOM DWELLING	MIN	9m³ INTERNAL		
CROSS VENTILATION	DWELLING				
	NORTH FACING	MIN	1.7m / 8m²		
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
PRIVATE OPEN SPACES	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET	SEE TABLE BELOW			
DDA COMPLIANCE					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B01	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m		Interior wall along corridor protrudes into the 1.2m clear circulation region
	ADAPTABLE BATHROOM CLEAR CIRCULATION AREA (1.2mx1.2m Option A; 1mx2.7m Option B)		(1x2.7m) or (1.2x1.2m)		Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B				
	ALL DDA COMPLIANCE MEASURES MET				

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B03					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B03	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m ²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m ²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m ³ INTERNAL		Allocate extra storage cage 0m ³
		MIN	8m ³ TOTAL		
	1 BEDROOM DWELLING	MIN	6m ³ INTERNAL	✓	
		MIN	10m ³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	9m ³ INTERNAL		
		MIN	14m ³ TOTAL		
	3 BEDROOM DWELLING	MIN	12m ³ INTERNAL		
		MIN	18m ³ TOTAL		
CROSS VENTILATION	DWELLING			✗	
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.7m / 8m ²		
	SOUTH FACING	MIN	1.2m / 8m ²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m ²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m ²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m ²		
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B03	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			N/A	
	ALL DDA COMPLIANCE MEASURES MET			✗	

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B04
29 Apartment

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B04					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		
	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	Allocate extra storage cage 0m³
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	
DWELLING	MIN	9m³ INTERNAL			
CROSS VENTILATION	NORTH FACING	MIN	1.7m / 8m²	✗	
	SOUTH FACING	MIN	1.2m / 8m²		
PRIVATE OPEN SPACES	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			
DDA COMPLIANCE	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04	NOTES
	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	Potential to rearrange living room furniture
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
ALL DDA COMPLIANCE MEASURES MET				✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B04.1
15 Apartments

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B04.1					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04.1	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		
	1 BEDROOM DWELLING	MIN	8m³ TOTAL		
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	Allocate extra storage cage 0m³
CROSS VENTILATION	DWELLING			✗	
	NORTH FACING	MIN	1.7m / 8m²		
PRIVATE OPEN SPACES	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
DDA COMPLIANCE	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET		SEE TABLE BELOW		
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04.1	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	Potential to rearrange living room furniture
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
	ALL DDA COMPLIANCE MEASURES MET			✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B04.2
2 Apartments

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B04.2					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04.2	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 0m³
	1 BEDROOM DWELLING	MIN	8m³ TOTAL		
		MIN	6m³ INTERNAL	✓	
	2 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	
MIN		9m³ INTERNAL			
CROSS VENTILATION	DWELLING	MIN	1.7m / 8m²		x
		MIN	1.2m / 8m²		
		MIN	1.8m / 8m²	✓	
PRIVATE OPEN SPACES	OTHER ORIENTATION (1 BED)	MIN	2m / 8m²		✓
	OTHER ORIENTATION (2 BED)	MIN	2.4m / 12m²		
	OTHER ORIENTATION (3 BED)	MIN			
	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04.2	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	Potential to rearrange living room furniture
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
	ALL DDA COMPLIANCE MEASURES MET			✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B04.3
1 Apartment

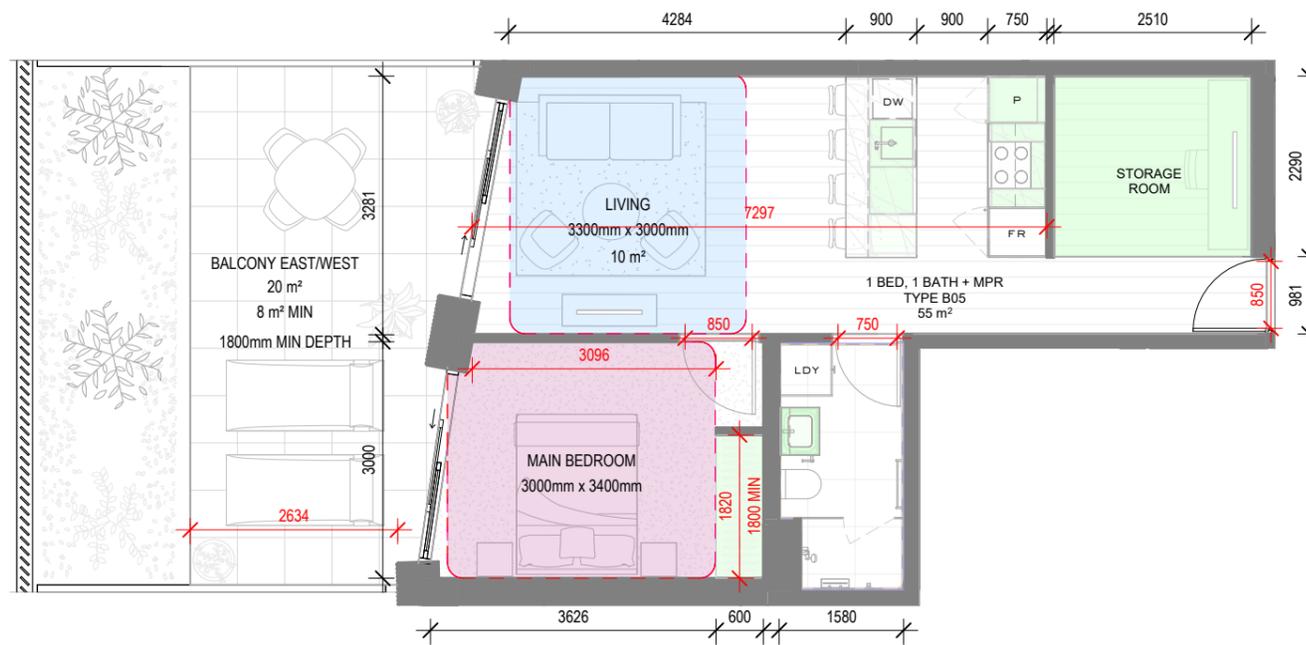
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B04.3					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04.3	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		
	1 BEDROOM DWELLING	MIN	8m³ TOTAL		
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	Allocate extra storage cage 0m³
CROSS VENTILATION	DWELLING			✗	
	NORTH FACING	MIN	1.7m / 8m²		
PRIVATE OPEN SPACES	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			
DDA COMPLIANCE	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B04.3	NOTES
	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	Potential to rearrange living room furniture
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
ALL DDA COMPLIANCE MEASURES MET				✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B05
1 Apartment

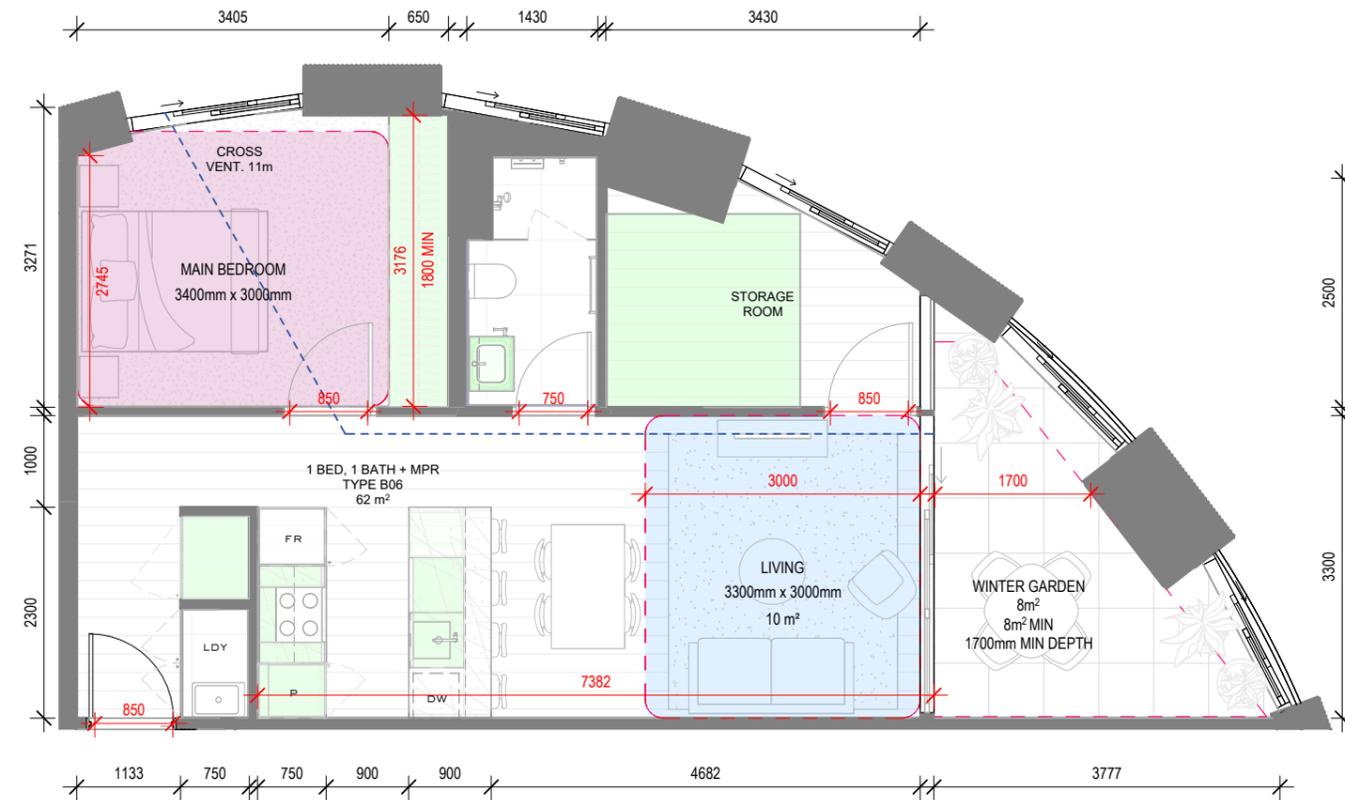
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B05					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B05	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 0m³
	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	
CROSS VENTILATION	DWELLING			✗	
	NORTH FACING	MIN	1.7m / 8m²		
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
PRIVATE OPEN SPACES	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B05	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B		(1x2.7m) or (1.2x1.2m)	✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ALL DDA COMPLIANCE MEASURES MET			N/A	
				✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B06
1 Apartment

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B06					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B06	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	Allocate extra storage cage 0m³
	STUDIO	MIN	5m³ INTERNAL		
	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
STORAGE	1 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	Allocate extra storage cage 0m³
	2 BEDROOM DWELLING	MIN	9m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	14m³ TOTAL		
	DWELLING	MIN	12m³ INTERNAL		
CROSS VENTILATION	DWELLING	MIN	18m³ TOTAL	✓	
	NORTH FACING	MIN	1.7m / 8m²	✓	
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²		
PRIVATE OPEN SPACES	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET	SEE TABLE BELOW			
DDA COMPLIANCE	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B06	NOTES
	FRONT DOOR OPENING	MIN	850mm	✓	Interior wall along corridor protrudes into the 1.2m clear circulation region
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B ALL DDA COMPLIANCE MEASURES MET		(1x2.7m) or (1.2x1.2m)	✗ N/A ✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B07
14 Apartments

424 ST KILDA ROAD
APARTMENT TYPE COMPLIANCE TABLE
18/12/2025

TYPE B07					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B07	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 0m³
	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	
PRIVATE OPEN SPACES	NORTH FACING DWELLING	MIN	1.7m / 8m²	✗	
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
DDA COMPLIANCE	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET	SEE TABLE BELOW			
DDA COMPLIANCE					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B07	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	Potential to rearrange living room furniture
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
	ALL DDA COMPLIANCE MEASURES MET			✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B07.1
9 Apartments

424 ST KILDA ROAD
APARTMENT TYPE COMPLIANCE TABLE
18/12/2025

TYPE B07.1					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B07.1	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
	STUDIO	MIN	5m³ INTERNAL		
STORAGE	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	Allocate extra storage cage 0m³
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
		MIN	10m³ TOTAL	✓	
		MIN	9m³ INTERNAL		
CROSS VENTILATION	3 BEDROOM DWELLING	MIN	14m³ TOTAL		
	DWELLING	MIN	12m³ INTERNAL		
		MIN	18m³ TOTAL		
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.7m / 8m²	✗	
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
DDA COMPLIANCE	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET	SEE TABLE BELOW			
DDA COMPLIANCE					
DDA COMPLIANCE	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B07.1	NOTES
	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	Potential to rearrange living room furniture
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			✓	
ALL DDA COMPLIANCE MEASURES MET			✓		

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B07.2
2 Apartments

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B07.2					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B07.2	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 0m³
	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	
PRIVATE OPEN SPACES	NORTH FACING DWELLING	MIN	1.7m / 8m²	✗	
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	Potential to rearrange living room furniture
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
	ALL DDA COMPLIANCE MEASURES MET			✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B07.3
1 Apartment

424 ST KILDA ROAD
APARTMENT TYPE COMPLIANCE TABLE
18/12/2025

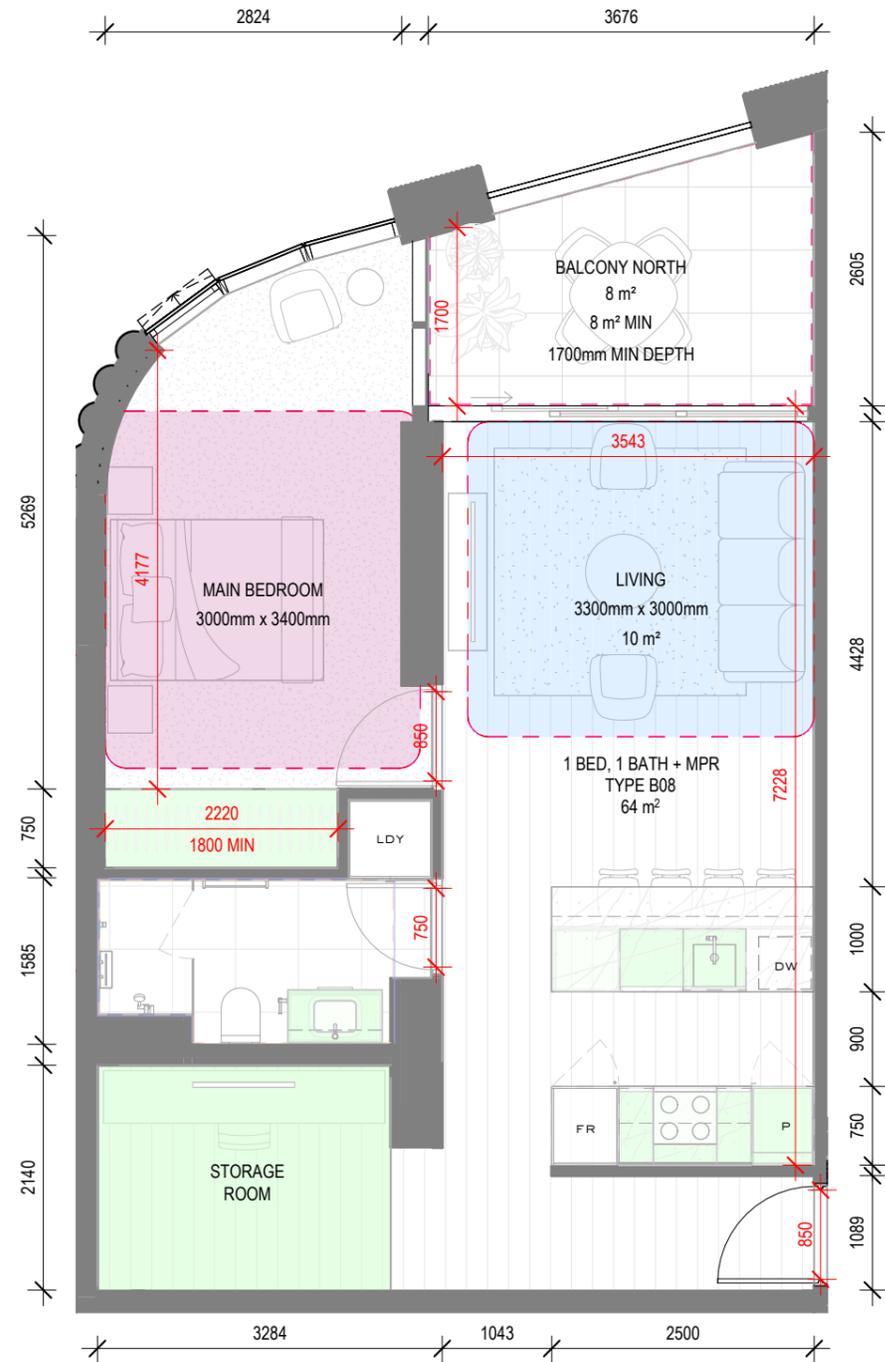
TYPE B07.3					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B07.3	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		
	1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	Allocate extra storage cage 0m³
	2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
		MIN	10m³ TOTAL	✓	
	MIN	9m³ INTERNAL			
CROSS VENTILATION	3 BEDROOM DWELLING	MIN	14m³ TOTAL		
	DWELLING		12m³ INTERNAL		
		MIN	18m³ TOTAL		
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.7m / 8m²	✗	
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
DDA COMPLIANCE	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET		SEE TABLE BELOW		
DDA COMPLIANCE					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B07.3	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	CAN BE ADAPTED	Potential to rearrange living room furniture
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✓	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			✓	
	ALL DDA COMPLIANCE MEASURES MET			✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE B08					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B08	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m		
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 0m³
		MIN	8m³ TOTAL		
	1 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
		MIN	10m³ TOTAL	✓	
CROSS VENTILATION	2 BEDROOM DWELLING	MIN	9m³ INTERNAL		
	3 BEDROOM DWELLING	MIN	14m³ TOTAL		
	DWELLING	MIN	12m³ INTERNAL		
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.7m / 8m²	✗	
	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
DDA COMPLIANCE	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B08	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			N/A	
	ALL DDA COMPLIANCE MEASURES MET			✗	

- LEGEND**
- ↔ Critical Dimension
 - - - Cross Ventilation
 - - - Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
 - - - Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
 - - - Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
 - - - Clear Path to Main Bedroom (1.2m clear minimum)
 - Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)
- Note: All plans on this page are for illustrative purposes only and are not to scale*

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B09
1 Apartment

424 ST KILDA ROAD

APARTMENT TYPE COMPLIANCE TABLE
18/12/2025

TYPE B09

ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B09	NOTES
FUNCTIONAL LAYOUT				
MAIN BEDROOM	MIN	3m x 3.4m	✓	
OTHER BEDROOMS	MIN	3m x 3m	✓	
LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	✓	
ROOM DEPTH	MAX	9m DEPTH	✓	
STORAGE	MIN	5m³ INTERNAL	✓	
1 BEDROOM DWELLING	MIN	8m³ TOTAL	✓	
2 BEDROOM DWELLING	MIN	6m³ INTERNAL	✓	
3 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	Allocate extra storage cage 0m³
CROSS VENTILATION				
DWELLING			✗	
PRIVATE OPEN SPACES				
NORTH FACING	MIN	1.7m / 8m²	✓	
SOUTH FACING	MIN	1.2m / 8m²	✓	
OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
OTHER ORIENTATION (2 BED)	MIN	2m / 8m²	✓	
OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²	✓	
DDA COMPLIANCE				
ALL DDA MEASURES MET		SEE TABLE BELOW		

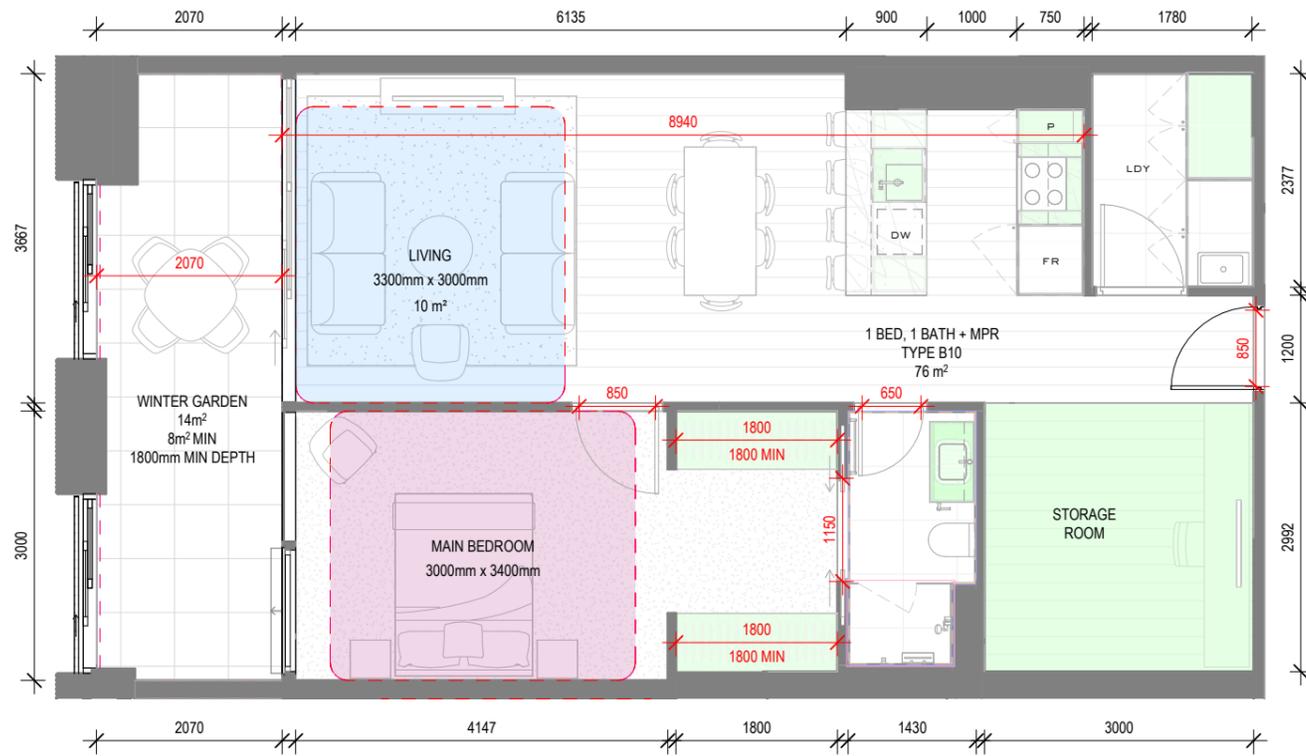
ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B09	NOTES
DDA COMPLIANCE				
FRONT DOOR OPENING	MIN	850mm	✓	
CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
ADAPTABLE BATHROOM CLEAR CIRCULATION AREA			✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	
ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			✗	
ALL DDA COMPLIANCE MEASURES MET			✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B10
1 Apartment

424 ST KILDA ROAD

APARTMENT TYPE COMPLIANCE TABLE
18/12/2025

TYPE B10

	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B10	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	
	OTHER BEDROOMS	MIN	3m x 3m	✓	
	LIVING AREA (1 BED)	MIN	3.3m W / 10m ²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m ²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m ³ INTERNAL	✓	
	1 BEDROOM DWELLING	MIN	8m ³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	6m ³ INTERNAL	✓	
	3 BEDROOM DWELLING	MIN	10m ³ TOTAL	✓	Allocate extra storage cage 0m ³
CROSS VENTILATION	DWELLING			✓	
	NORTH FACING	MIN	1.7m / 8m ²	✓	
	SOUTH FACING	MIN	1.2m / 8m ²	✓	
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m ²	✓	
PRIVATE OPEN SPACES	OTHER ORIENTATION (2 BED)	MIN	2m / 8m ²	✓	
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m ²	✓	
	ALL DDA MEASURES MET	SEE TABLE BELOW		✓	

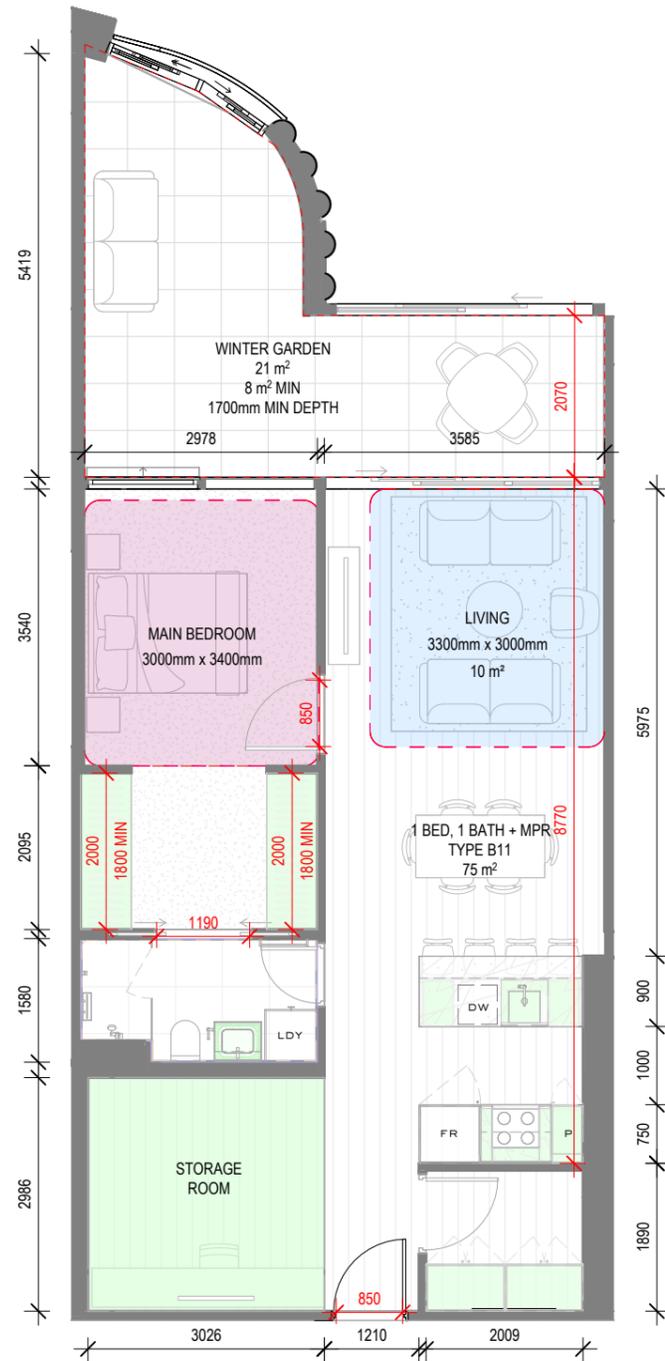
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B10	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	X	Interior wall along corridor protrudes into the 1.2m clear circulation region
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B		(1x2.7m) or (1.2x1.2m)	X	Adaptable bedroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ALL DDA COMPLIANCE MEASURES MET			✓	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B11
1 Apartment

424 ST KILDA ROAD

APARTMENT TYPE COMPLIANCE TABLE
18/12/2025

TYPE B11

	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B11	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	
	OTHER BEDROOMS	MIN	3m x 3m	✓	
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
	STUDIO	MIN	5m³ INTERNAL	✓	
		MIN	8m³ TOTAL	✓	
		MIN	6m³ INTERNAL	✓	
STORAGE	1 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	Allocate extra storage cage 0m³
	2 BEDROOM DWELLING	MIN	9m³ INTERNAL	✓	
	MIN	14m³ TOTAL	✓		
	MIN	12m³ INTERNAL	✓		
CROSS VENTILATION	3 BEDROOM DWELLING	MIN	18m³ TOTAL	✓	
	DWELLING			✗	
	NORTH FACING	MIN	1.7m / 8m²	✓	
PRIVATE OPEN SPACES	SOUTH FACING	MIN	1.2m / 8m²	✓	
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²	✓	
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²	✓	
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			

	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B11	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B		(1x2.7m) or (1.2x1.2m)	✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ALL DDA COMPLIANCE MEASURES MET			✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 1 Bedroom Apartments



APARTMENT TYPE B12
1 Apartment

424 ST KILDA ROAD
APARTMENT TYPE COMPLIANCE TABLE
18/12/2025

TYPE B12

	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B12	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	✓	
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²	✓	
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
		MIN	5m² INTERNAL		
STORAGE	STUDIO	MIN	8m² TOTAL	✓	Allocate extra storage cage 0m³
	1 BEDROOM DWELLING	MIN	6m² INTERNAL	✓	
	2 BEDROOM DWELLING	MIN	10m² TOTAL	✓	
	3 BEDROOM DWELLING	MIN	8m² INTERNAL	✓	
CROSS VENTILATION	DWELLING			✓	
		MIN	1.7m / 8m²	✓	
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.2m / 8m²	✓	
	SOUTH FACING	MIN	1.8m / 8m²	✓	
	OTHER ORIENTATION (1 BED)	MIN	2m / 8m²	✓	
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²	✓	
DDA COMPLIANCE	ALL DDA MEASURES MET		SEE TABLE BELOW		

	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE B12	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✓	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B		(1x2.7m) or (1.2x1.2m)	✓	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ALL DDA COMPLIANCE MEASURES MET			✓	

LEGEND

- ↔ Critical Dimension
- - - Cross Ventilation
- - - Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- - - Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3.3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- - - Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- - - Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE C01
9 Apartments

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE C01					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE C01	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	Additional area provided around, total area compliant
	LIVING AREA (1 BED) LIVING AREA (2+ BED)	MIN	3.3m W / 10m² 3.6m W / 12m²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 3m³
	1 BEDROOM DWELLING	MIN	8m³ TOTAL		
	2 BEDROOM DWELLING	MIN	10m³ TOTAL	✓	
	3 BEDROOM DWELLING	MIN	14m³ TOTAL	✗	
CROSS VENTILATION	DWELLING			✓	
	NORTH FACING	MIN	1.7m / 8m²		
	SOUTH FACING	MIN	1.2m / 8m²		
PRIVATE OPEN SPACES	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²		
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²	✓	
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE C01	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B ALL DDA COMPLIANCE MEASURES MET		(1x2.7m) or (1.2x1.2m)	✗ N/A ✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE C01.1
1 Apartment

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE C01.1					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE C01.1	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	Additional area provided around, total area compliant
	LIVING AREA (1 BED)	MIN	3.3m W / 10m ²		
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m ²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH		
STORAGE	STUDIO	MIN	5m ³ INTERNAL		Allocate extra storage cage 3m ³
		MIN	8m ³ TOTAL		
	1 BEDROOM DWELLING	MIN	6m ³ INTERNAL		
		MIN	10m ³ TOTAL		
	2 BEDROOM DWELLING	MIN	9m ³ INTERNAL		
	MIN	14m ³ TOTAL			
	MIN	12m ³ INTERNAL			
	MIN	18m ³ TOTAL			
CROSS VENTILATION	DWELLING				
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.7m / 8m ²		
	SOUTH FACING	MIN	1.2m / 8m ²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m ²		
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m ²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m ²		
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE C01.1	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm		
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m		Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)		Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B				
	ALL DDA COMPLIANCE MEASURES MET				

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE D01
1 Apartment

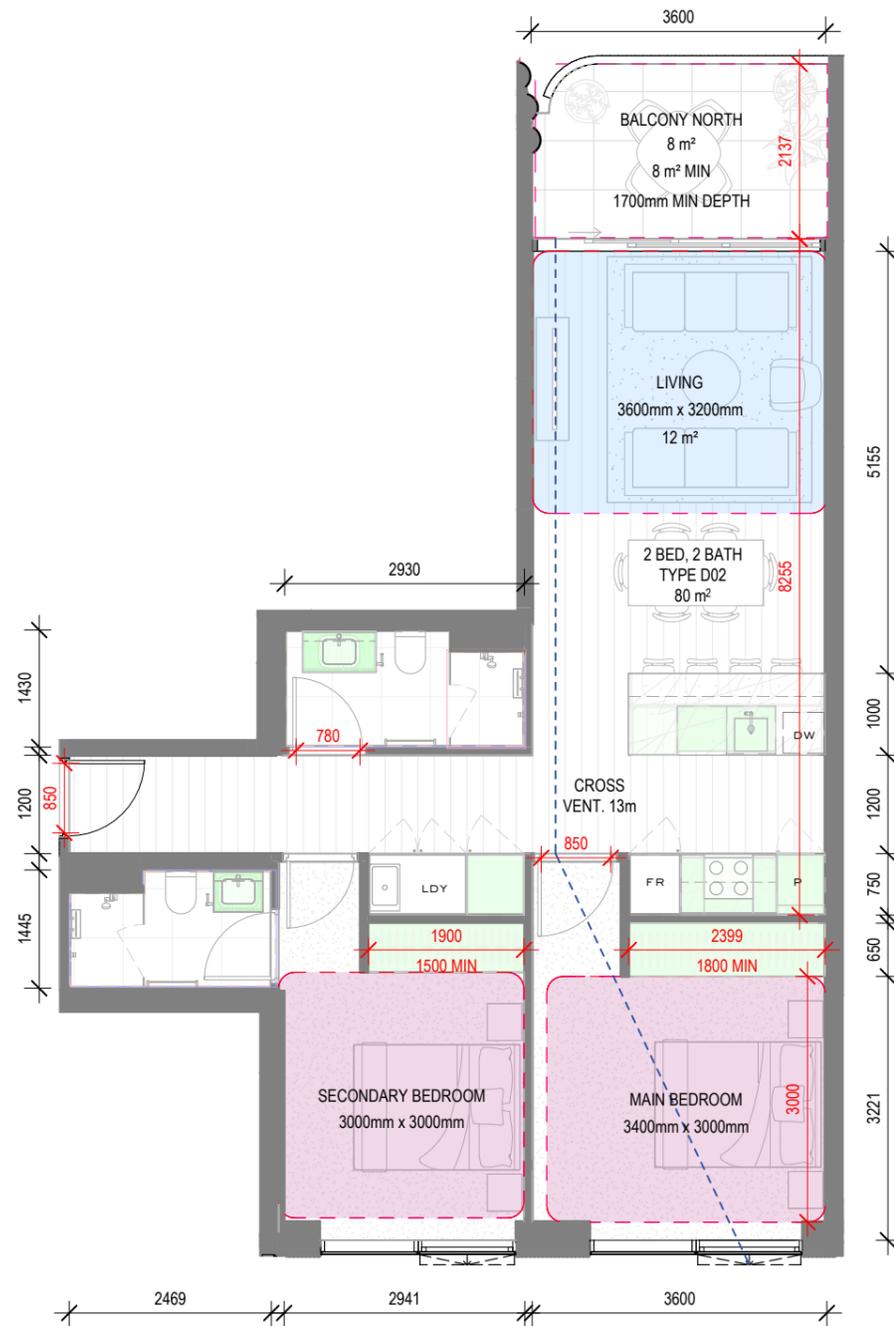
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE D01					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D01	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	Additional area provided around, total area compliant
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²		Additional area provided around, total area compliant
ROOM DEPTH	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	EQUIVALENT	Additional area provided around, total area compliant
	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 5m³
		MIN	8m³ TOTAL		
	1 BEDROOM DWELLING	MIN	6m³ INTERNAL		
		MIN	10m³ TOTAL	✓	
	2 BEDROOM DWELLING	MIN	9m³ INTERNAL	✓	
CROSS VENTILATION	DWELLING			✓	
	NORTH FACING	MIN	1.7m / 8m²		
	SOUTH FACING	MIN	1.2m / 8m²		
PRIVATE OPEN SPACES	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²		
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²	✓	
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
DDA COMPLIANCE	ALL DDA MEASURES MET		SEE TABLE BELOW		
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D01	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B		(1x2.7m) or (1.2x1.2m)	✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area

LEGEND

- ↔ Critical Dimension
- - - Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE D02
14 Apartments

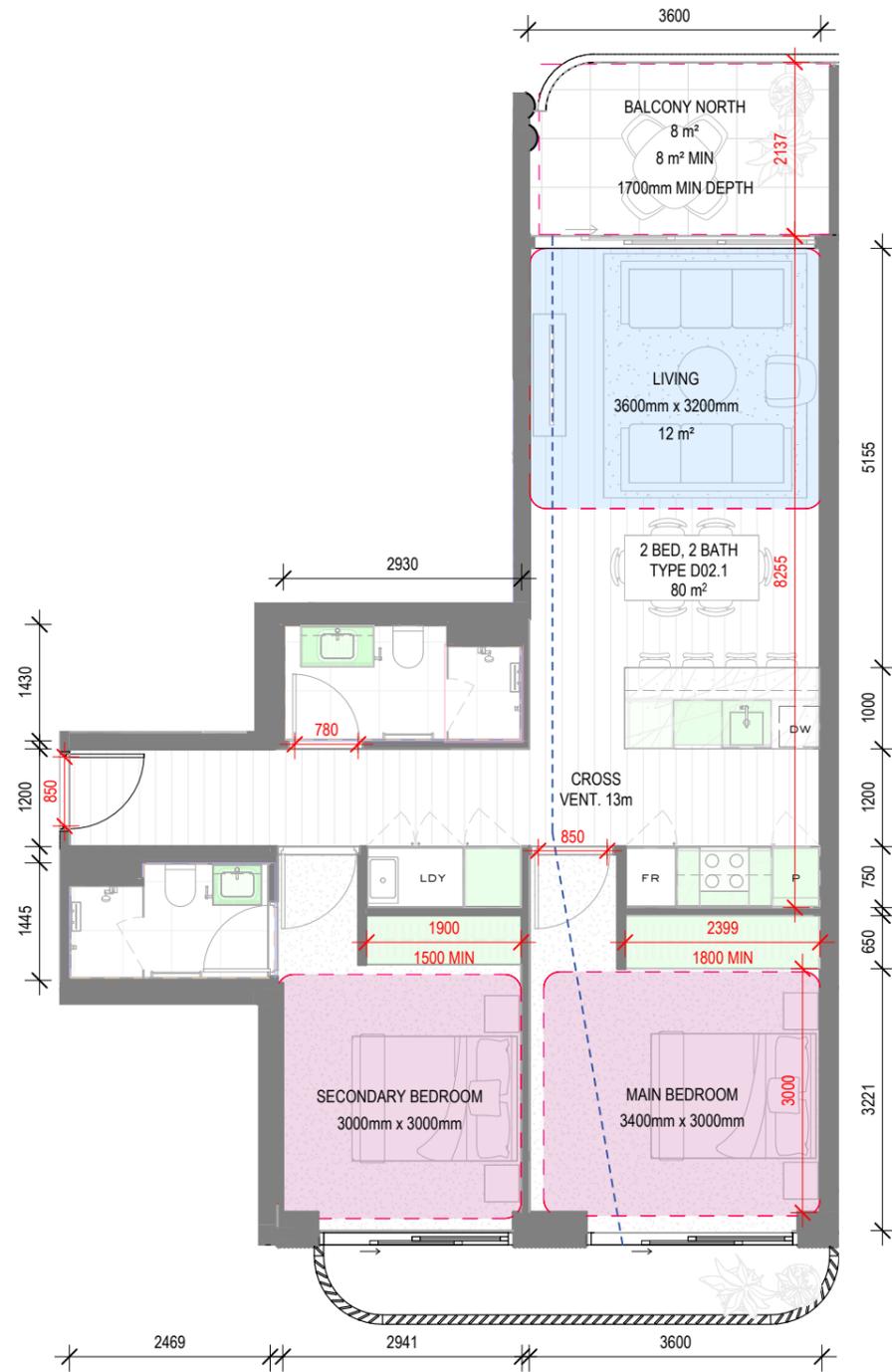
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE D02					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D02	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²		
ROOM DEPTH	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	✓	
	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 2m³
	1 BEDROOM DWELLING	MIN	8m³ TOTAL		
	2 BEDROOM DWELLING	MIN	10m³ INTERNAL		
	3 BEDROOM DWELLING	MIN	9m³ INTERNAL	✓	
	DWELLING	MIN	14m³ TOTAL	✗	
CROSS VENTILATION	12m³ INTERNAL	MIN	12m³ INTERNAL		
	18m³ TOTAL	MIN	18m³ TOTAL		
	DWELLING	MIN	1.7m / 8m²	✓	
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.2m / 8m²	✓	
	SOUTH FACING	MIN	1.8m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (2 BED)	MIN	2.4m / 12m²		
	OTHER ORIENTATION (3 BED)	MIN			
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D02	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	Interior wall along corridor protrudes into the 1.2m clear circulation region Other bathroom satisfies the 1m x 2.7m clear circulation area, secondary bedroom bathroom does not
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
ALL DDA COMPLIANCE MEASURES MET				✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3.3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE D02.1
1 Apartment

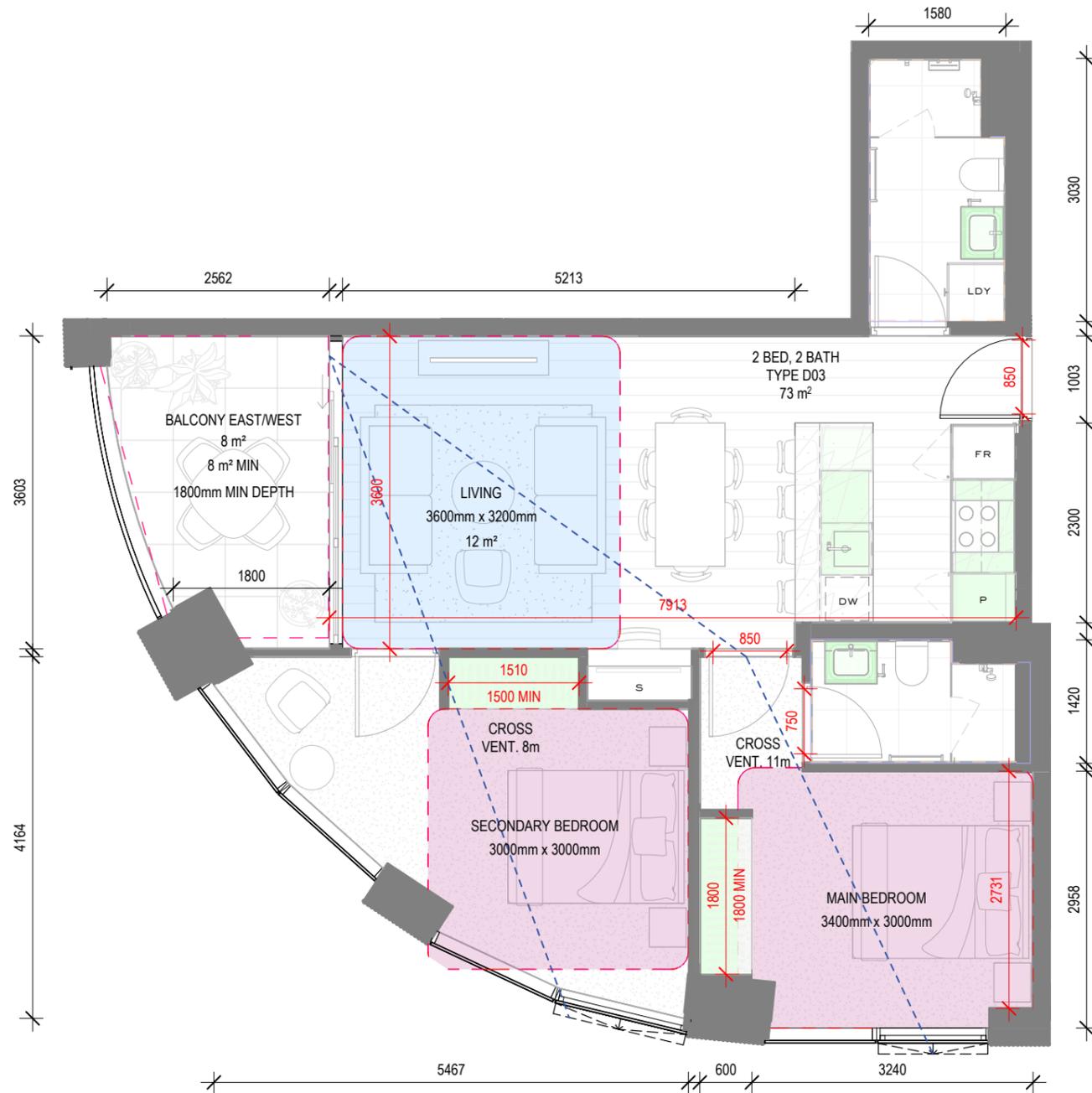
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE D02.1					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D02.1	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²		
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
	STUDIO	MIN	5m³ INTERNAL		Allocate extra storage cage 2m³
STORAGE	1 BEDROOM DWELLING	MIN	8m³ TOTAL		
	2 BEDROOM DWELLING	MIN	10m³ TOTAL		
	3 BEDROOM DWELLING	MIN	14m³ TOTAL	✓	
	3 BEDROOM DWELLING	MIN	18m³ TOTAL	✗	
CROSS VENTILATION	DWELLING			✓	
	NORTH FACING	MIN	1.7m / 8m²	✓	
PRIVATE OPEN SPACES	SOUTH FACING	MIN	1.2m / 8m²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²		
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
DDA COMPLIANCE	ALL DDA MEASURES MET		SEE TABLE BELOW		
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D02.1	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	Interior wall along corridor protrudes into the 1.2m clear circulation region Other bathroom satisfies the 1m x 2.7m clear circulation area, secondary bedroom bathroom does not
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			B	
DDA COMPLIANCE	ALL DDA COMPLIANCE MEASURES MET			✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE D03
9 Apartments

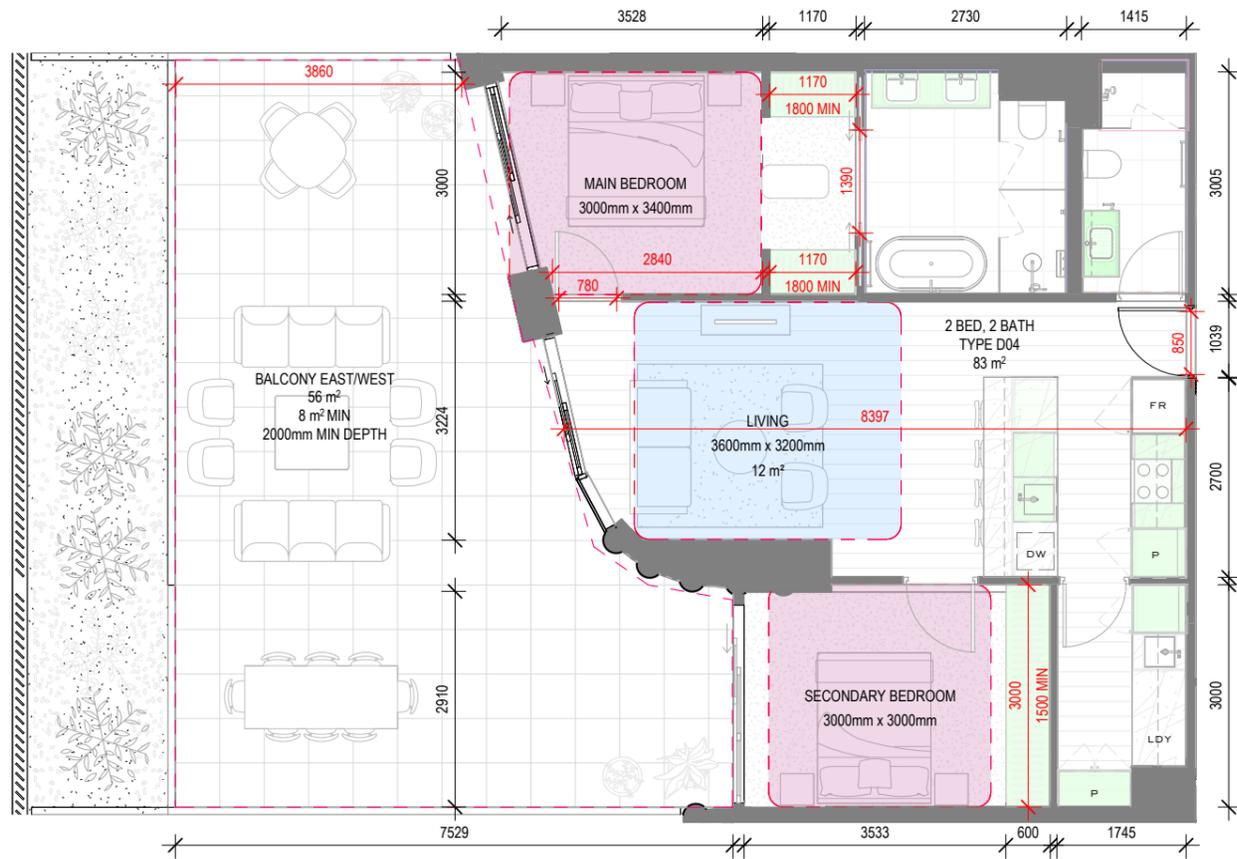
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE D03					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D03	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	Additional area provided around, total area compliant
	LIVING AREA (1 BED)	MIN	3.3m W / 10m ²		
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m ²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m ³ INTERNAL		Allocate extra storage cage 5m ³
	1 BEDROOM DWELLING	MIN	8m ³ TOTAL		
	2 BEDROOM DWELLING	MIN	6m ³ INTERNAL		
		MIN	10m ³ TOTAL		
		MIN	9m ³ INTERNAL	✓	
		MIN	14m ³ TOTAL	X	
CROSS VENTILATION	DWELLING			✓	
	NORTH FACING	MIN	1.7m / 8m ²		
	SOUTH FACING	MIN	1.2m / 8m ²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m ²		
PRIVATE OPEN SPACES	OTHER ORIENTATION (2 BED)	MIN	2m / 8m ²	✓	
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m ²		
	ALL DDA MEASURES MET		SEE TABLE BELOW		
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D03	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	X	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	X	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			N/A	
	ALL DDA COMPLIANCE MEASURES MET			X	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3.3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE D04
1 Apartment

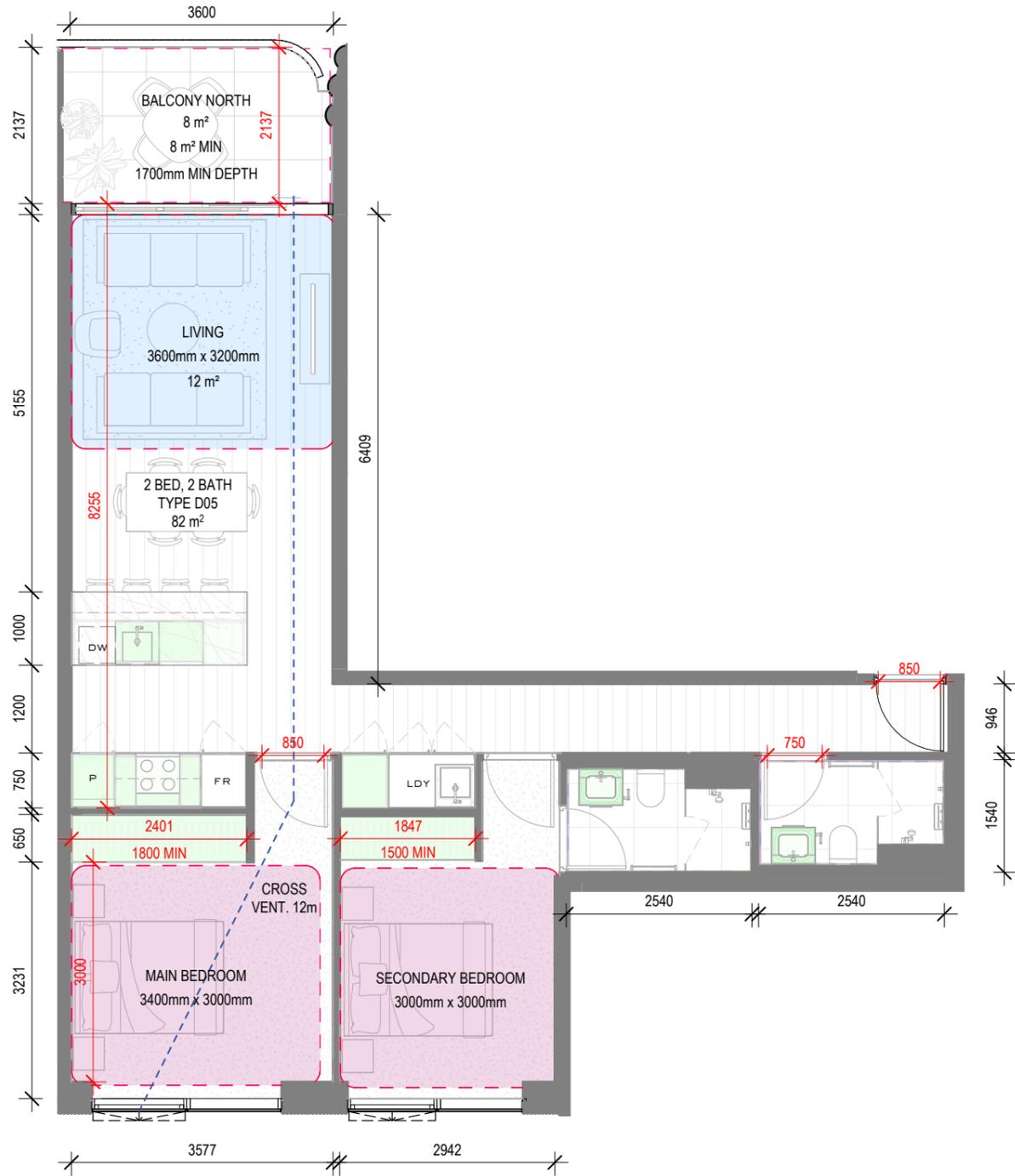
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE D04					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D04	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	EQUIVALENT	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	Additional area provided around, total area compliant
	LIVING AREA (1 BED)	MIN	3.3m W / 10m ²		
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m ²		
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
STORAGE	STUDIO	MIN	5m ³ INTERNAL		Allocate extra storage cage 0m ³
	1 BEDROOM DWELLING	MIN	8m ³ TOTAL		
	2 BEDROOM DWELLING	MIN	6m ³ INTERNAL		
		MIN	10m ³ TOTAL		
	3 BEDROOM DWELLING	MIN	9m ³ INTERNAL	✓	
		MIN	14m ³ TOTAL	✓	
CROSS VENTILATION	DWELLING			✓	
PRIVATE OPEN SPACES	NORTH FACING	MIN	1.7m / 8m ²	✗	
	SOUTH FACING	MIN	1.2m / 8m ²		
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m ²		
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m ²	✓	
DDA COMPLIANCE	ALL DDA MEASURES MET		SEE TABLE BELOW		
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D04	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	Interior wall along corridor protrudes into the 1.2m clear circulation region
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	Main bathroom satisfies the 1m x 2.7m clear circulation area, other bathroom does not
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			A	
	ALL DDA COMPLIANCE MEASURES MET			✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE D05
1 Apartment

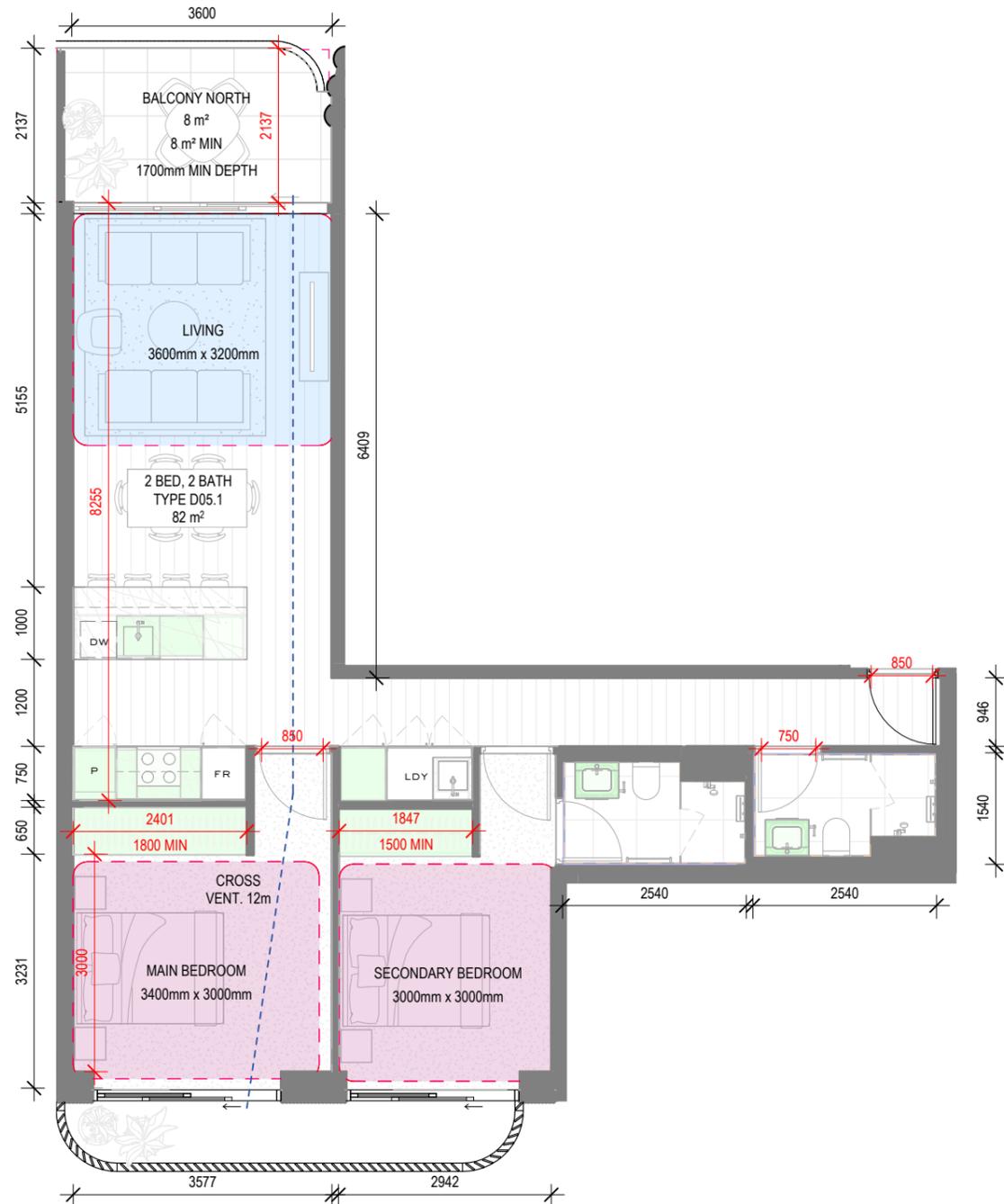
424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE D05					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D05	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²		
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
		MIN	5m³ INTERNAL		
STORAGE	STUDIO	MIN	8m³ TOTAL		Allocate extra storage cage 2m³
	1 BEDROOM DWELLING	MIN	6m³ INTERNAL		
		MIN	10m³ TOTAL		
	2 BEDROOM DWELLING	MIN	9m³ INTERNAL	✓	
		MIN	14m³ TOTAL	✗	
CROSS VENTILATION	DWELLING			✓	
	NORTH FACING	MIN	1.7m / 8m²	✓	
	SOUTH FACING	MIN	1.2m / 8m²		
PRIVATE OPEN SPACES	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²		
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
	DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW		
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D05	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	Interior wall along corridor protrudes into the 1.2m clear circulation region
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			N/A	
	ALL DDA COMPLIANCE MEASURES MET			✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3.3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
- Adaptable Bathroom Clear Circulation Area (1.2mx1.2m Option A; 1mx2.7m Option B)
- Clear Path to Main Bedroom (1.2m clear minimum)
- Internal Storage (1 Bed 6m³ Internal & 10m³ Total minimum; 2 Bed 9m³ Internal & 14m³ Total minimum; 3 Bed 12m³ Internal & 18m³ Total minimum)

Note: All plans on this page are for illustrative purposes only and are not to scale

Functional layout Typical Plans - 2 Bedroom Apartments



APARTMENT TYPE D05.1
1 Apartment

424 ST KILDA ROAD					
APARTMENT TYPE COMPLIANCE TABLE					
18/12/2025					
TYPE D05.1					
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D05.1	NOTES
FUNCTIONAL LAYOUT	MAIN BEDROOM	MIN	3m x 3.4m	✓	Additional area provided around, total area compliant
	OTHER BEDROOMS	MIN	3m x 3m	EQUIVALENT	
	LIVING AREA (1 BED)	MIN	3.3m W / 10m²		
	LIVING AREA (2+ BED)	MIN	3.6m W / 12m²	✓	
ROOM DEPTH	OPEN PLAN LAYOUT	MAX	9m DEPTH	✓	
		MIN	5m³ INTERNAL		
STORAGE	STUDIO	MIN	8m³ TOTAL		Allocate extra storage cage 2m²
	1 BEDROOM DWELLING	MIN	6m³ INTERNAL		
		MIN	10m³ TOTAL		
	2 BEDROOM DWELLING	MIN	9m³ INTERNAL	✓	
		MIN	14m³ TOTAL	✗	
CROSS VENTILATION	3 BEDROOM DWELLING	MIN	12m³ INTERNAL		
	DWELLING		18m³ TOTAL		
	NORTH FACING	MIN	1.7m / 8m²	✓	
PRIVATE OPEN SPACES	SOUTH FACING	MIN	1.2m / 8m²	✓	
	OTHER ORIENTATION (1 BED)	MIN	1.8m / 8m²		
	OTHER ORIENTATION (2 BED)	MIN	2m / 8m²		
	OTHER ORIENTATION (3 BED)	MIN	2.4m / 12m²		
DDA COMPLIANCE	ALL DDA MEASURES MET	SEE TABLE BELOW			
	ROOM/DWELLING/REQUIREMENT	MIN/MAX	DIMENSION	APT TYPE D05.1	NOTES
DDA COMPLIANCE	FRONT DOOR OPENING	MIN	850mm	✓	Interior wall along corridor protrudes into the 1.2m clear circulation region
	CLEAR PATH TO MAIN BEDROOM ADAPTABLE BATH & LIVING	MIN	1.2m	✗	
	MAIN BEDROOM HAS ACCESS TO ADAPTABLE BATH		(1x2.7m) or (1.2x1.2m)	✗	Adaptable bathroom does not satisfy the 1.2m x 1.2m (Design Option A) or 1m x 2.7m (Design Option B) clear circulation area
	ADAPTABLE BEDROOM THAT MEETS DESIGN A OR B			N/A	
	ALL DDA COMPLIANCE MEASURES MET			✗	

LEGEND

- Critical Dimension
- Cross Ventilation
- Bedroom (3.4mx3m Master Bedrooms minimum; 3mx3m Other Bedrooms minimum)
- Living Areas Excluding Dining and Kitchen (1 Bed 3.3mx3m minimum; 2 or More Beds 3.6mx 3.3m minimum)
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