

WIRRAWAY CENTRAL - PROPOSED MIXED USE DEVELOPMENT

18-22 SALMON STREET, PORT MELBOURNE

1.3 LOCATION PLAN



The site is in the centre of Wirraway Precinct

Source: Nearmaps

--- WIRRAWAY PRECINCT

--- WIRRAWAY CORE PRECINCT

WIRRAWAY CENTRAL - PROPOSED MIXED USE DEVELOPMENT

18-22 SALMON STREET, PORT MELBOURNE

1.4 SITE INFORMATION

The proposed Wirraway Central development is located at 18-22 Salmon Street, Port Melbourne. It is within the Wirraway Precinct of Fishermans Bend. The site is rectangular in shape, with a 80m frontage to Plummer Street and a 140m frontage to Salmon Street. It is almost a hectare in size (just over 9700m²).

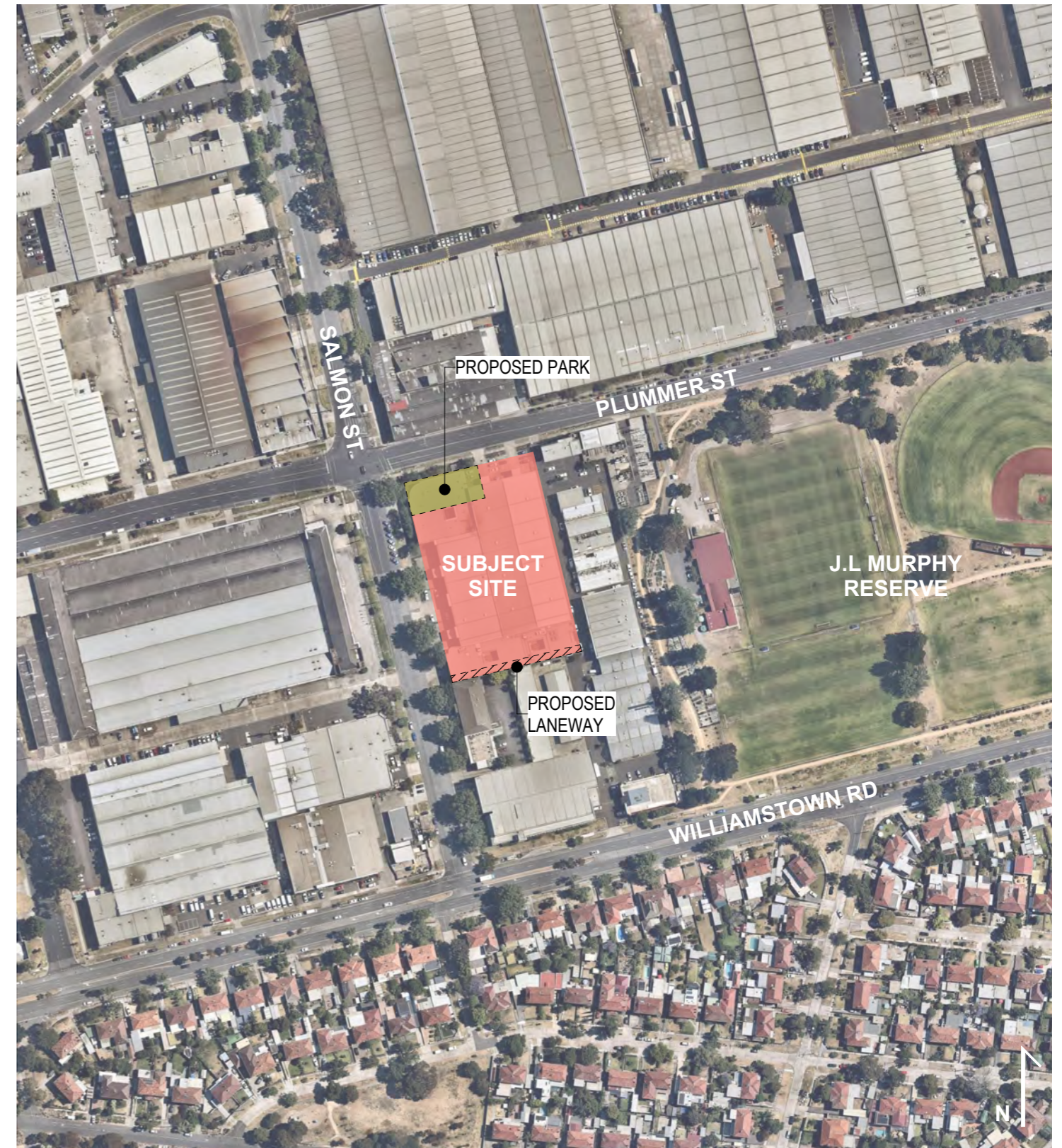
Located at the intersection of Plummer and Salmon Streets, the site is in the heart of Wirraway. Directly east of the site is a complex of warehouses. A number of these warehouses are subject to current planning applications and permits to convert them into mixed use. Further east lies J.L Murphy Reserve, approximately 100m away. Towards the north and west are a series of warehouses, with current applications and/or permits for redevelopment. The site is bounded by existing offices to the south with residential housing running along Williamstown Road (further south of the site).

Currently on site there is an existing DHL couriers warehouse. The site and surrounding area is zoned as Capital City Zone 1, encouraging residential mixed use developments.

A number of high-rise and low-rise developments have been approved to the west of the subject site which will provide over 500 dwellings nearby. Two current applications as well as one approval to the north would provide close to a further two thousand dwellings if approved.

To the south is the established suburb of Garden City, with several hundred existing "bank houses" with stucco concrete grey finish and terracotta tiled roofs.

The planning scheme also gives guidance, seeking a park to the north-west corner of the site and an access laneway to the south of the subject site.



Source: Nearmaps

WIRRAWAY CENTRAL - PROPOSED MIXED USE DEVELOPMENT

18-22 SALMON STREET, PORT MELBOURNE

1.5 STREETScape PHOTOS



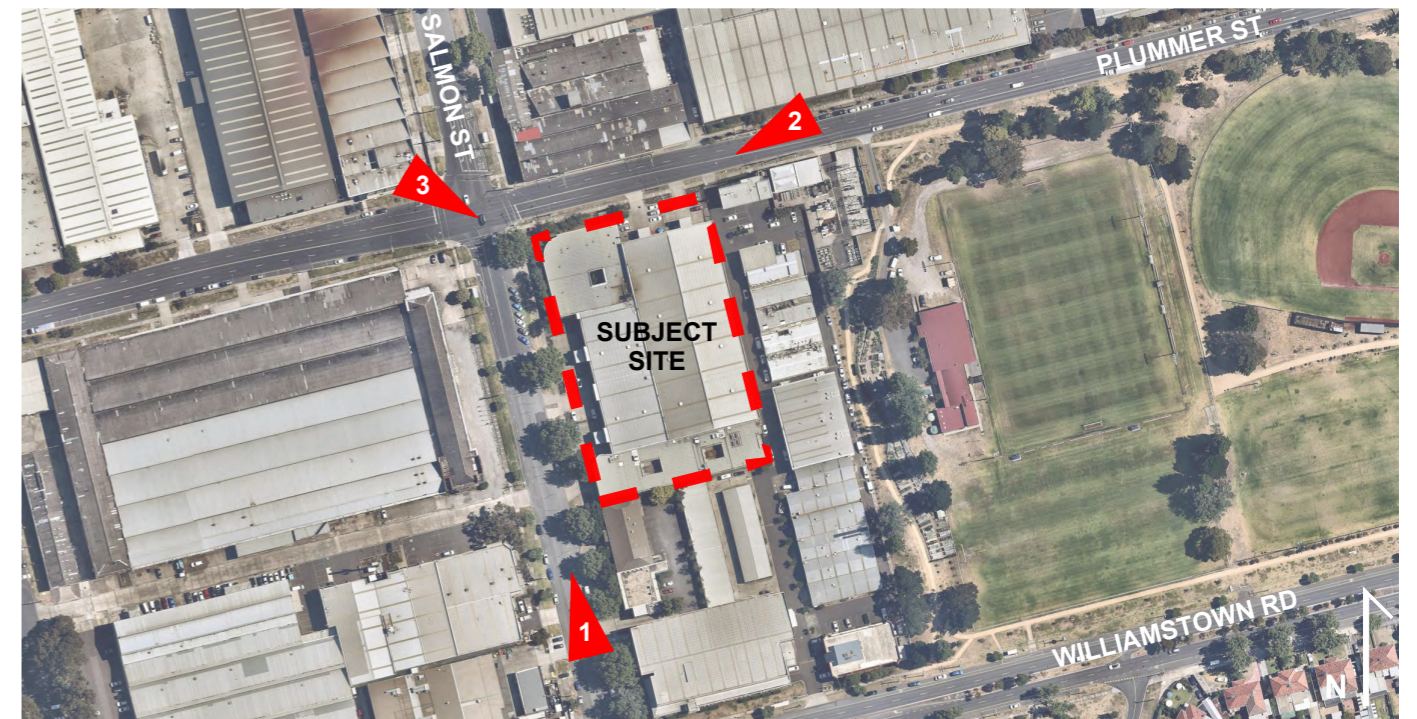
1 SALMON ST - LOOKING NORTH TOWARDS SUBJECT SITE



2 PLUMMER ST - LOOKING WEST TOWARDS SUBJECT SITE



3 CORNER PLUMMER & SALMON ST - LOOKING SOUTH-EAST AT SUBJECT SITE



The general character of the existing neighbourhood is concrete or metal walled warehouses in the order of 10-15 metres high. Streets are also quite wide and open.

Source: Nearmaps & Google Maps

WIRRAWAY CENTRAL - PROPOSED MIXED USE DEVELOPMENT

18-22 SALMON STREET, PORT MELBOURNE

1.6 SITE PHOTOS



Building typology is typically industrial modern warehouses with a few older original factories, generally of early modern or art deco style. Streets are tree lined.

Source: Nearmaps

WIRRAWAY CENTRAL - PROPOSED MIXED USE DEVELOPMENT

18-22 SALMON STREET, PORT MELBOURNE

1.7 SITE PHOTOS



The neighbouring buildings to the east are of metal and concrete construction with minimal on-site vegetation. A number of existing redevelopment permits indicate the site will redevelop sooner rather than later.

Source: Nearmaps