

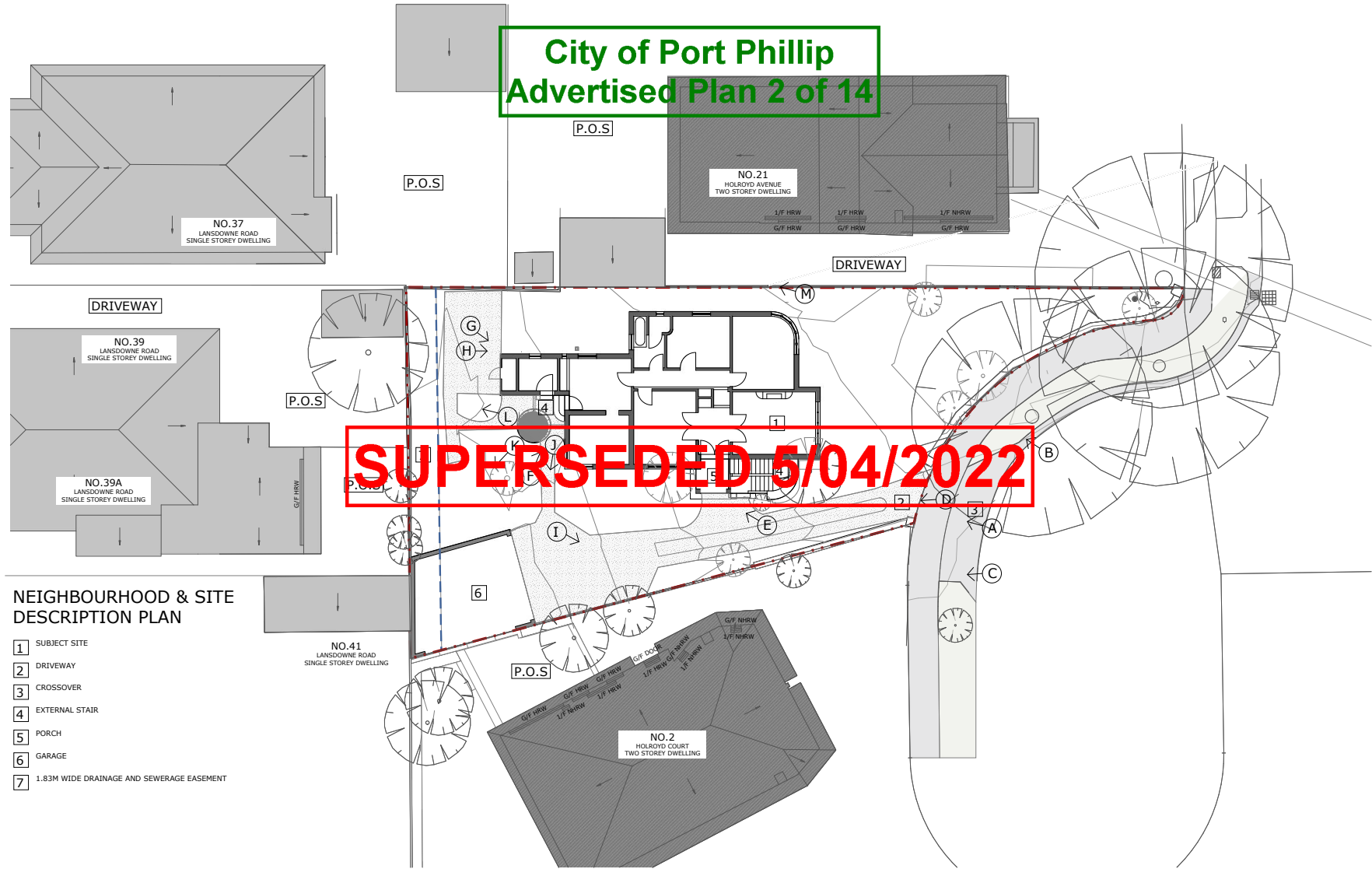
TEMPELHOF
NO. 1 HOLROYD COURT, ST KILDA EAST
PROJECT NO. 2101
TOWN PLANNING ISSUE: 10/11/2021

City of Port Phillip
Advertised Plan 1 of 14

DRAWING NO.	DRAWING NAME	SCALE
TP001	NEIGHBOURHOOD AND SITE DESCRIPTION PLAN	1:200
TP002A	SITE PHOTOS - SHEET 01	-
TP002B	SITE PHOTOS - SHEET 02	-
TP003	DESIGN RESPONSE PLAN	1:200
TP100	DEMOLITION PLAN - GROUND FLOOR	1:100
TP101	DEMOLITION PLAN - FIRST FLOOR	1:100
TP102	GROUND FLOOR PLAN	1:100
TP103	FIRST FLOOR PLAN	1:100
TP104	ROOF / STORM CALCULATIONS PLAN	1:100
TP200	EXISTING ELEVATIONS - SHEET 1	1:100
TP201	EXISTING ELEVATIONS - SHEET 2	1:100
TP202	ELEVATIONS - SHEET 1	1:100
TP203	ELEVATIONS - SHEET 2	1:100



City of Port Phillip
Advertised Plan 2 of 14



NEIGHBOURHOOD & SITE DESCRIPTION PLAN

- 1 SUBJECT SITE
- 2 DRIVEWAY
- 3 CROSSOVER
- 4 EXTERNAL STAIR
- 5 PORCH
- 6 GARAGE
- 7 1.83M WIDE DRAINAGE AND SEWERAGE EASEMENT

TOWN PLANNING

Attachment 2: Superseded Originally Advertised Plans

<small>THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT CONTRACT DOCUMENTATION. DO NOT SCALE OFF DIMENSIONS. CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. BUILDING ACT 1974 AND RELATED LOCAL AUTHORITY REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS.</small>	REV	DATE	NOTES		MATYAS ARCHITECTS PTY LTD 17A ARMSTRONG STREET MIDDLE PARK VICTORIA 3206 TEL: 03 959 4652 EMAIL: architects@matyasarchitects.com.au		DRAWING TITLE:	SCALE:	APPROVED:	DATE:	PROJECT:
							NEIGHBOURHOOD & SITE DESCRIPTION PLAN	1:200@A3	JM	26.07.21	TEMPELHOF
							ADDRESS:	DRAWN:	JOB NO:	DRAWING NO:	REVISION:
							1 HOLROYD COURT, ST KILDA EAST	HP	2101	TP001	-



(A) SUBJECT SITE STREET VIEW



(B) 21 HOLROYD AVENUE STREET VIEW

City of Port Phillip
Advertised Plan 3 of 14



(C) 2 HOLROYD COURT STREET VIEW



(D) DRIVEWAY VIEW 01



(E) FRONT PORCH



(F) REAR EXTERNAL SPIRAL STAIRCASE



(G) REAR VIEW 01



(H) REAR VIEW 02



(I) DRIVEWAY VIEW 02

SUPERSEDED 5/04/2022



(J) GARAGE VIEW



(K) VIEW OF 39A LANSDOWNE ROAD



(L) VIEW OF 39 LANSDOWNE ROAD



(M) 21 HOLROYD AVENUE GARAGE AND DRIVEWAY VIEW

TOWN PLANNING

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REV	DATE	NOTES



MATYAS ARCHITECTS PTY LTD
17A ARMSTRONG STREET
MIDDLE PARK VICTORIA 3206
TEL: 03 9501 4052
EMAIL: architects@matyasarchitects.com.au

DRAWING TITLE: SITE PHOTOS - SHEET 01	SCALE: -	APPROVED: JM	DATE: 26.07.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO.: 2101	DRAWING NO.: TP002A	REVISION: -



City of Port Phillip
Advertised Plan 4 of 14

SUPERSEDED 5/04/2022



PHOTO OF CORRODED CONCRETE BEAM WITH EXPOSED STEEL REINFORCEMENT

CLOSEUP PHOTO OF CORRODED CONCRETE BEAM WITH EXPOSED STEEL REINFORCEMENT

TOWN PLANNING

REV	DATE	NOTES

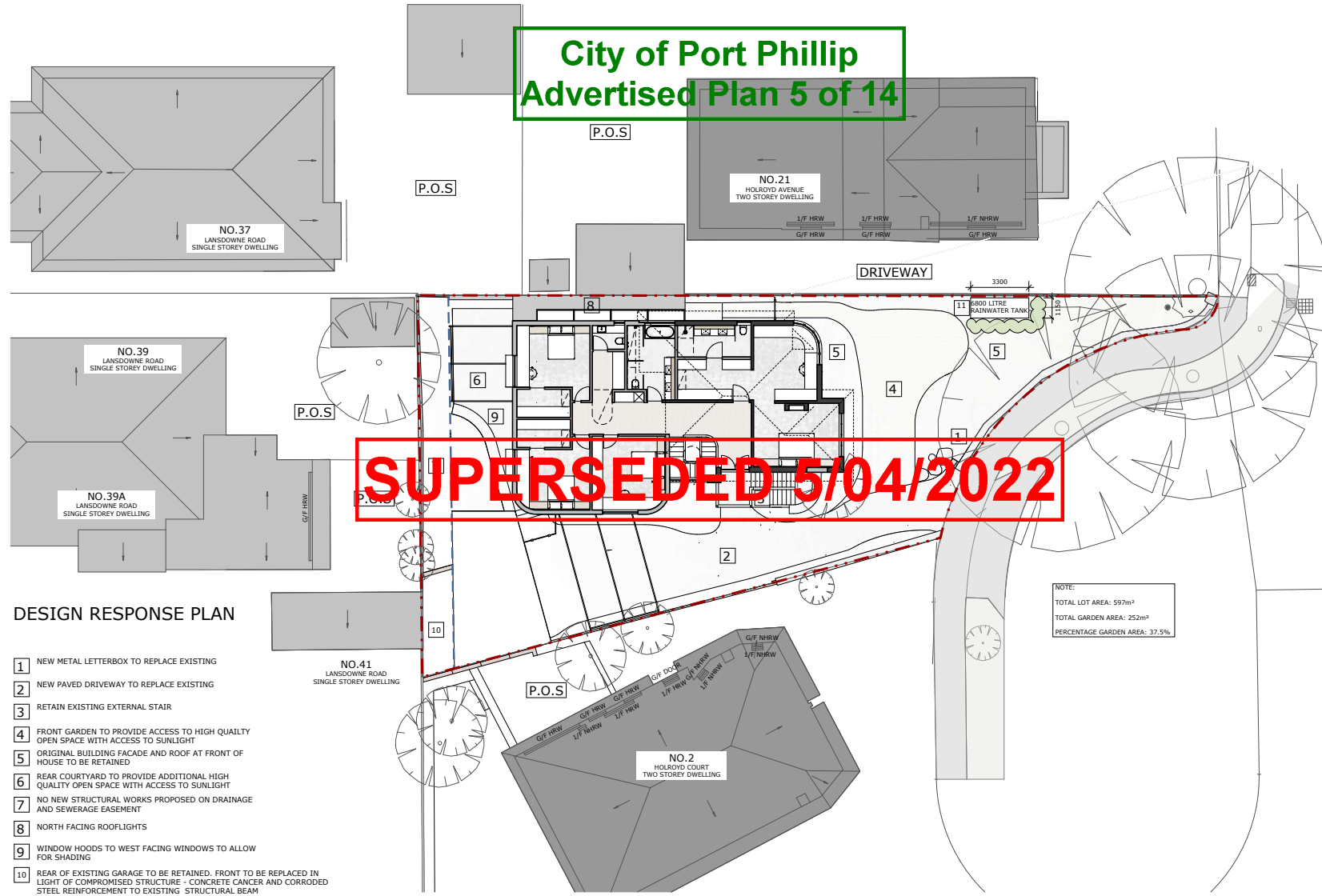


MATYAS ARCHITECTS PTY LTD
17A ARMSTRONG STREET
MIDDLE PARK VICTORIA 3206
TEL: 03 9591 4652
EMAIL: architects@matyasarchitects.com.au

DRAWING TITLE: SITE PHOTOS - SHEET 02	SCALE: -	APPROVED: JM	DATE: 26.10.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP002B	REVISION: A

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT CONTRACT DOCUMENTATION. DO NOT SCALE OR DIMENSIONS. CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA. BUILDING ACT 1993 AND RELEVANT LOCAL AUTHORITY REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS.

City of Port Phillip
Advertised Plan 5 of 14



NOTE:
TOTAL LOT AREA: 597m²
TOTAL GARDEN AREA: 252m²
PERCENTAGE GARDEN AREA: 37.5%

DESIGN RESPONSE PLAN

- 1 NEW METAL LETTERBOX TO REPLACE EXISTING
- 2 NEW PAVED DRIVEWAY TO REPLACE EXISTING
- 3 RETAIN EXISTING EXTERNAL STAIR
- 4 FRONT GARDEN TO PROVIDE ACCESS TO HIGH QUALITY OPEN SPACE WITH ACCESS TO SUNLIGHT
- 5 ORIGINAL BUILDING FACADE AND ROOF AT FRONT OF HOUSE TO BE RETAINED
- 6 REAR COURTYARD TO PROVIDE ADDITIONAL HIGH QUALITY OPEN SPACE WITH ACCESS TO SUNLIGHT
- 7 NO NEW STRUCTURAL WORKS PROPOSED ON DRAINAGE AND SEWERAGE EASEMENT
- 8 NORTH FACING ROOFLIGHTS
- 9 WINDOW HOODS TO WEST FACING WINDOWS TO ALLOW FOR SHADING
- 10 REAR OF EXISTING GARAGE TO BE RETAINED, FRONT TO BE REPLACED IN LIGHT OF COMPROMISED STRUCTURE - CONCRETE CANCER AND CORRODED STEEL REINFORCEMENT TO EXISTING STRUCTURAL BEAM
- 11 6800L RAINWATER TANK LOCATED AGAINST EXISTING FENCE, PAINTED BLACK TO MATCH FENCE AND FULLY SCREENED BY PROPOSED SCREENING PLANTS

Attachment 2: Superseded Originally Advertised Plans

REV	DATE	NOTES
A	28.10.21	Updated design in response to Heritage comments
B	10.11.21	Updated location of rainwater tank

REV	DATE	NOTES
A	28.10.21	Updated design in response to Heritage comments
B	10.11.21	Updated location of rainwater tank

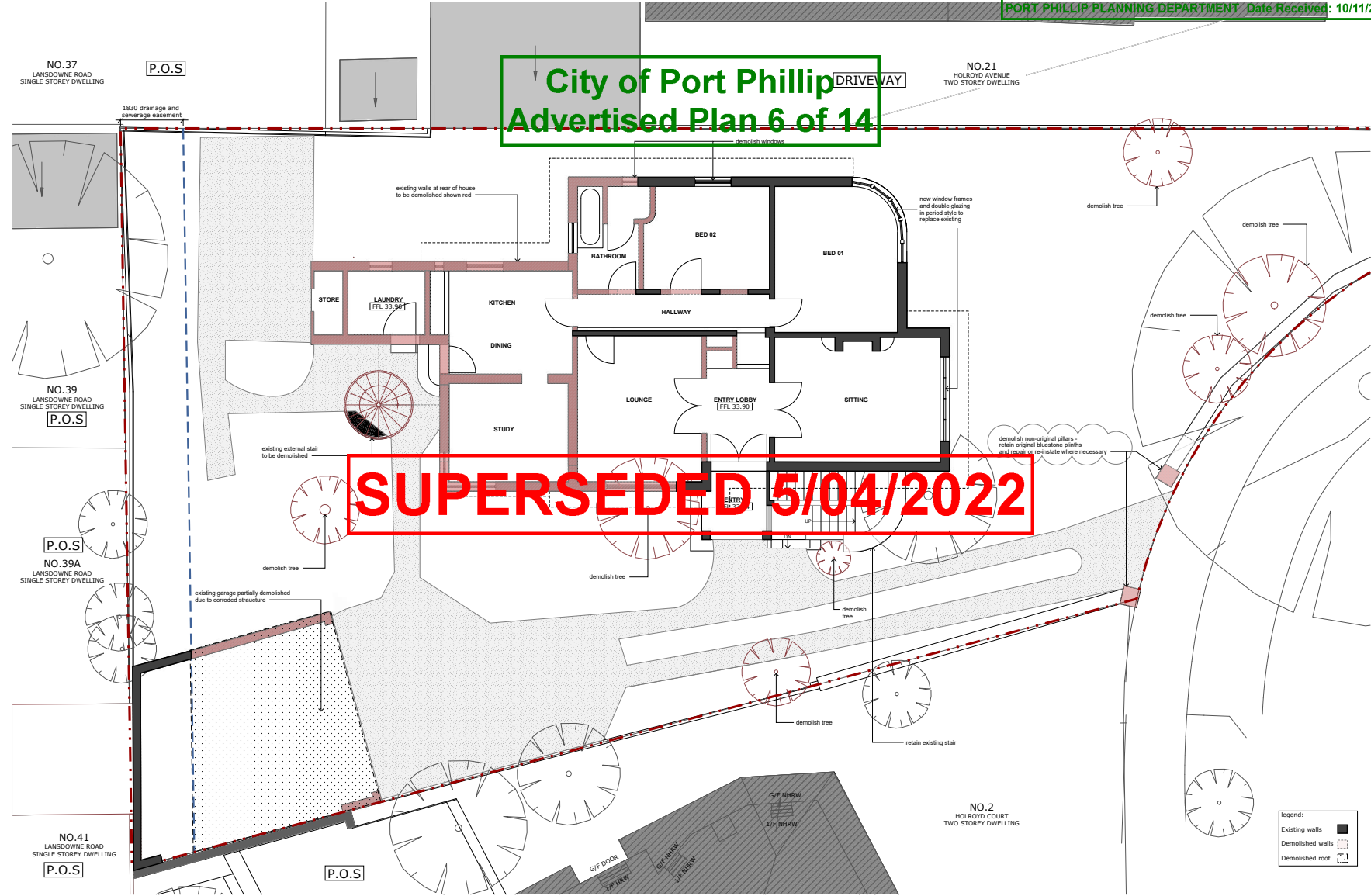
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MIDDLE PARK VICTORIA 3206
TEL: 03 959 4652
EMAIL: architects@matyasarhitects.com.au

DRAWING TITLE: DESIGN RESPONSE PLAN	SCALE: 1:200@A3	APPROVED: JM	DATE: 10.11.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP003	REVISION: B

TOWN PLANNING

City of Port Phillip
Advertised Plan 6 of 14



SUPERSEDED 5/04/2022

legend:
 Existing walls [solid black line]
 Demolished walls [dashed line]
 Demolished roof [stippled area]

TOWN PLANNING

REV	DATE	NOTES
A	28.10.21	Updated design in response to Heritage comments
B	10.11.21	Updated title to original bluestone pillars to be replaced by Council



MATYAS ARCHITECTS PTY LTD
 17A ARMSTRONG STREET
 MIDDLE PARK VICTORIA 3206
 TEL: 03 9596 4862
 EMAIL: architects@matyasarchitects.com.au



DRAWING TITLE: GROUND FLOOR DEMOLITION PLAN	SCALE: 1:100@A3	APPROVED: JM	DATE: 10.11.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP100	REVISION: B

City of Port Phillip
Advertised Plan 7 of 14

NO.37
LANSOWNE ROAD
SINGLE STOREY DWELLING

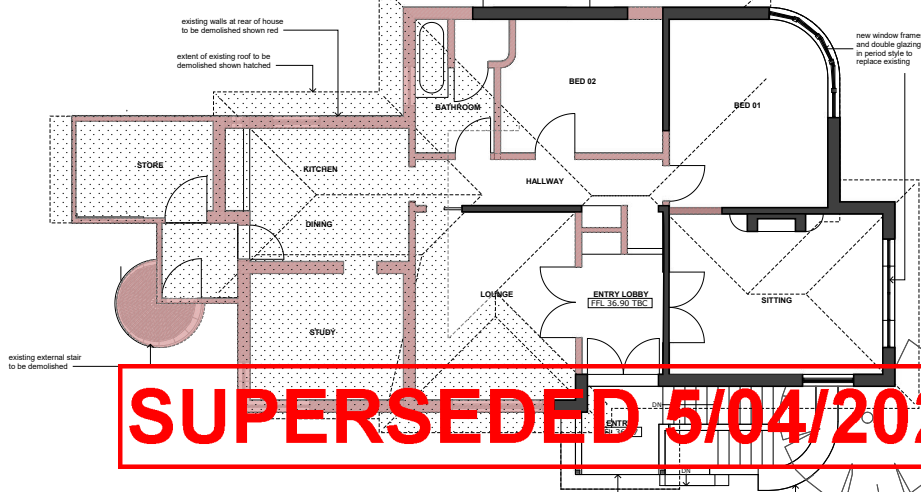
NO.21
HOLROYD AVENUE
TWO STOREY DWELLING

NO.39
LANSOWNE ROAD
SINGLE STOREY DWELLING

NO.39A
LANSOWNE ROAD
SINGLE STOREY DWELLING

NO.41
LANSOWNE ROAD
SINGLE STOREY DWELLING

NO.2
HOLROYD COURT
TWO STOREY DWELLING



SUPERSEDED 5/04/2022

legend:
Existing walls ■
Demolished walls ▨
Demolished roof ▩

Attachment 2: Superseded Originally Advertised Plans

TOWN PLANNING

REV	DATE	NOTES
A	26.10.21	Updated design in response to Heritage comments



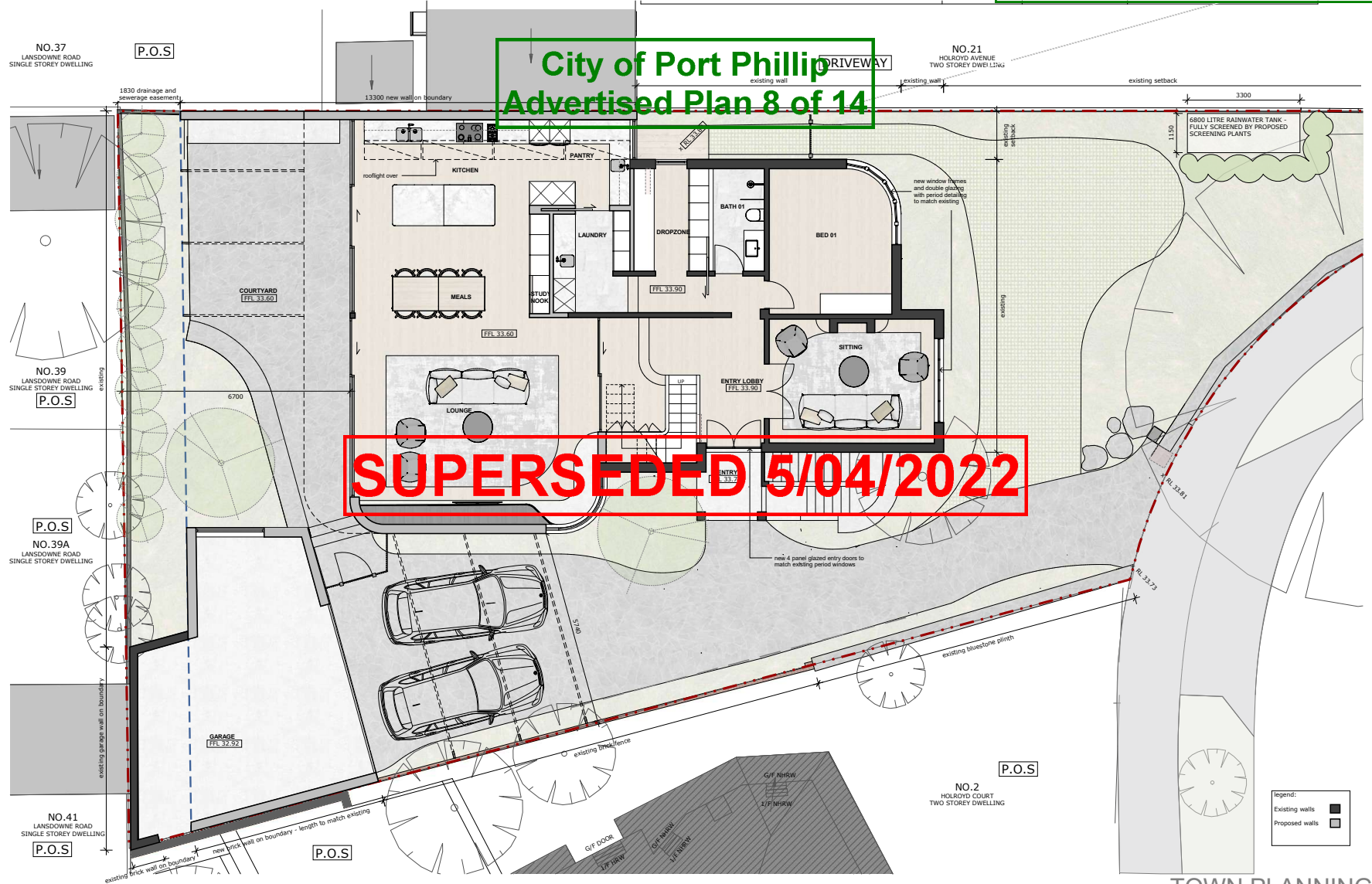
MATYAS ARCHITECTS PTY LTD
17A ARMSTRONG STREET
MIDDLE PARK VICTORIA 3206
TEL: 03 9698 4662
EMAIL: architects@matyasarhitects.com.au



DRAWING TITLE: FIRST FLOOR DEMOLITION PLAN	SCALE: 1:100@A3	APPROVED: JM	DATE: 26.10.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP101	REVISION: A

City of Port Phillip
Advertised Plan 8 of 14

SUPERSEDED 5/04/2022



Attachment 2: Superseded Originally Advertised Plans

REV	DATE	NOTES
A	28.10.21	Updated design in response to Heritage comments
B	10.11.21	Updated location of rainwater tank

MATYAS ARCHITECTS

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17A ARMSTRONG STREET
MIDDLE PARK VICTORIA 3206
TEL: 03 9598 4852
EMAIL: architects@matyasarchitects.com.au

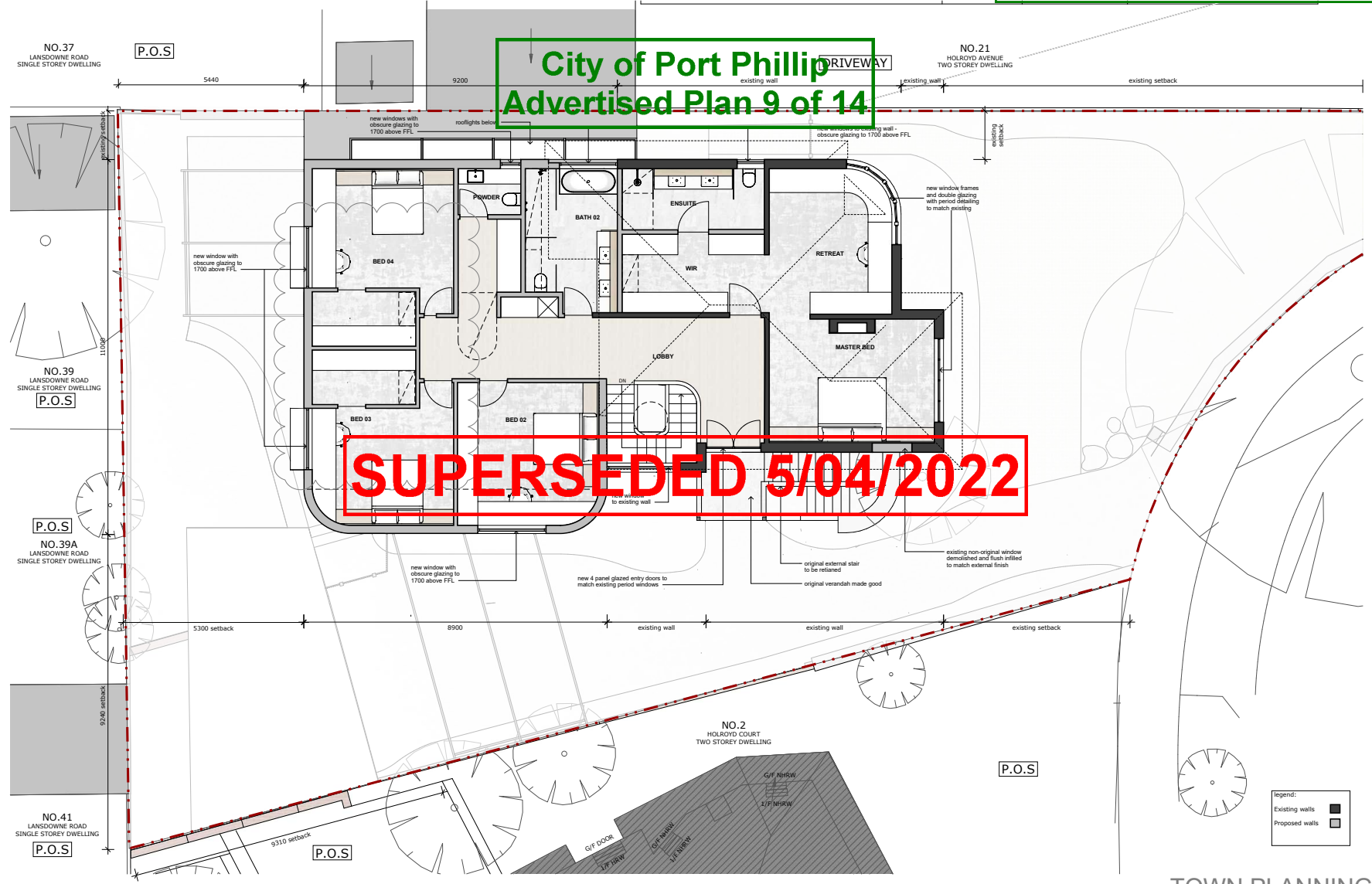
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ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO.: 2101	DRAWING NO.: TP102	REVISION: B

TOWN PLANNING

Legend:
Existing walls [Solid black line]
Proposed walls [Dashed grey line]

City of Port Phillip
Advertised Plan 9 of 14

SUPERSEDED 5/04/2022



Attachment 2: Superseded Originally Advertised Plans

<small>THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT CONTRACT DOCUMENTATION. DO NOT SCALE OR DIMENSIONS AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO CONSTRUCTION. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, BUILDING ACT 1975 AND RELEVANT LOCAL AUTHORITY REQUIREMENTS AND RELEVANT AUSTRALIAN STANDARDS.</small>	<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	DATE	NOTES				<p>MATYAS ARCHITECTS</p>	<p>MATYAS ARCHITECTS PTY LTD 17A ARMSTRONG STREET MIDDLE PARK VICTORIA 3206 TEL: 03 959 4602 EMAIL: architects@matyasarhitects.com.au</p>		<p>DRAWING TITLE: FIRST FLOOR PLAN</p> <p>ADDRESS: 1 HOLROYD COURT, ST KILDA EAST</p>	<p>SCALE: 1:100@A3</p>	<p>APPROVED: JM DATE: 10.11.21</p>	<p>PROJECT: TEMPELHOF</p>	<p>DRAWN: HP JOB NO: 2101</p>	<p>DRAWING NO: TP103</p>	<p>REVISION: B</p>
	REV	DATE	NOTES														

TOWN PLANNING

City of Port Phillip
Advertised Plan 10 of 14

SUPERSEDED 5/04/2022

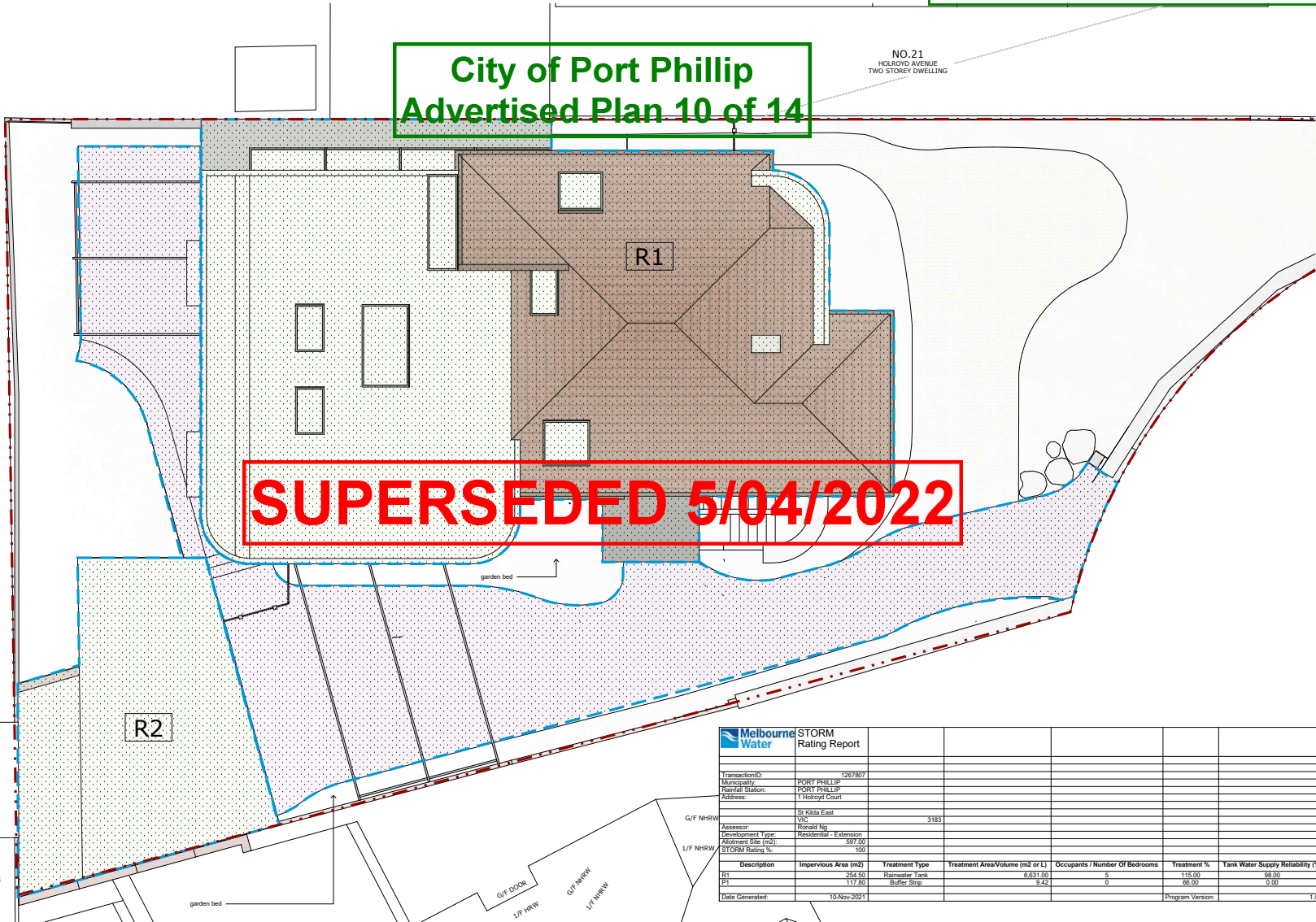
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LANDSDOWNE ROAD
SINGLE STOREY DWELLING

NO.21
HOLROYD AVENUE
TWO STOREY DWELLING

NO.39
LANDSDOWNE ROAD
SINGLE STOREY DWELLING

NO.39A
LANDSDOWNE ROAD
SINGLE STOREY DWELLING

NO.41
LANDSDOWNE ROAD
SINGLE STOREY DWELLING



Melbourne Water		STORM Rating Report					
Transaction ID:	1287807						
Municipality:	PORT PHILLIP						
Rainfall Station:	PORT PHILLIP						
Address:	1 Holroyd Court						
Assessor:	St Kilda East VIC 3183						
Assessment:	Ronald Ng						
Development Type:	Residential - Extension						
Allocated Site (m2):	597.00						
STORM Rating %:	100						
Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 of L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)	
R1	254.50	Rainwater Tank	0.6317 0.0	0	100.00	60.00	
P1	117.80	Buffer Strip	9.42	0	66.00	0.00	
Date Generated:	10-Nov-2021					Program Version: 1.0.0	

TOWN PLANNING

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REV	DATE	NOTES



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17A ARMSTRONG STREET
MIDDLE PARK VICTORIA 3206
TEL: 03 9691 4602
EMAIL: architects@matyasarhitects.com.au

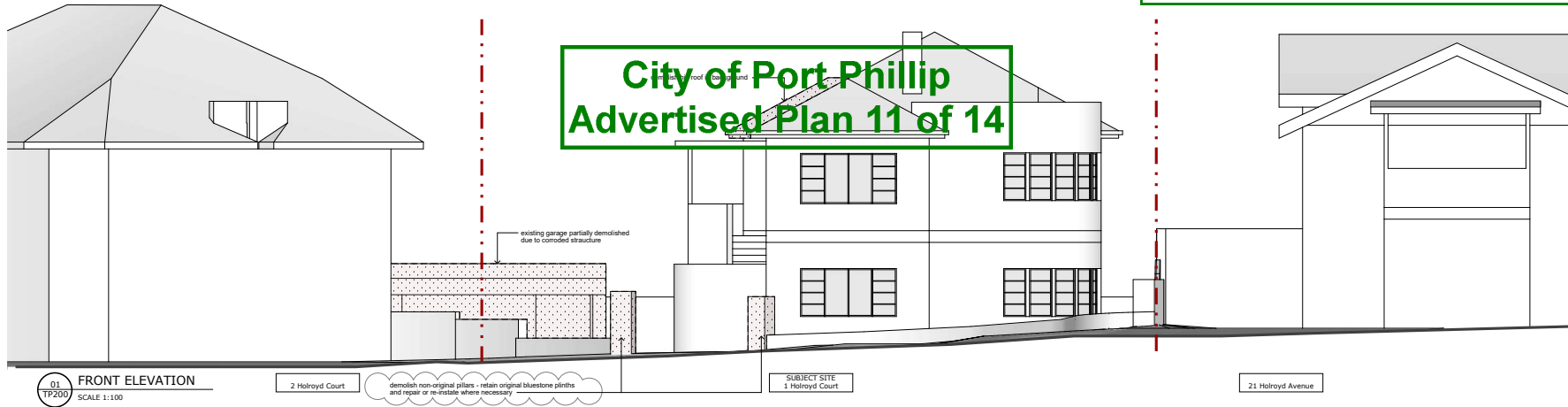


DRAWING TITLE:
ROOF / STORM CALC PLAN
ADDRESS:
1 HOLROYD COURT, ST KILDA EAST

SCALE:
1:100@A3
APPROVED:
JM
DATE:
10.11.21
DRAWN:
HP

PROJECT:
TEMPELHOF
JOB NO:
2101
DRAWING NO:
TP104
REVISION:
A

**City of Port Phillip
Advertised Plan 11 of 14**



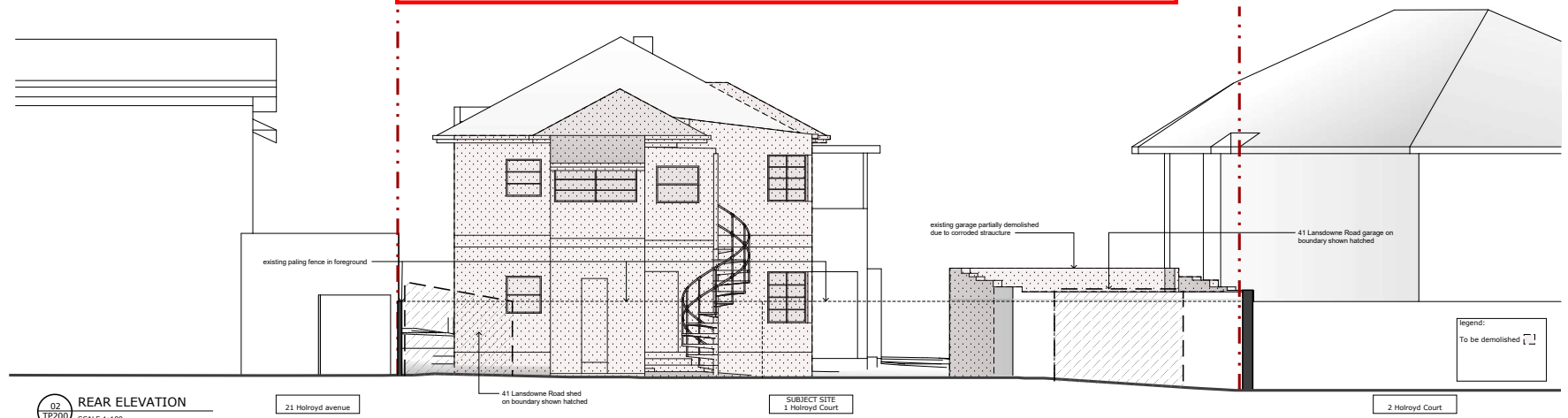
01
TP200
FRONT ELEVATION
SCALE 1:100

2 Holroyd Court

SUBJECT SITE
1 Holroyd Court

21 Holroyd Avenue

SUPERSEDED 5/04/2022



02
TP200
REAR ELEVATION
SCALE 1:100

21 Holroyd Avenue

SUBJECT SITE
1 Holroyd Court

2 Holroyd Court

legend:
To be demolished

Attachment 2: Superseded Originally Advertised Plans

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REV	DATE	NOTES
A	26.10.21	Updated design in response to Heritage comments
B	10.11.21	Updated note to original bluestone pilthns as requested by Council

REV	DATE	NOTES



MATYAS ARCHITECTS PTY LTD
17A ARMSTRONG STREET
MIDDLE PARK VICTORIA 3206
TEL: 03 959 4652
EMAIL: architects@matyasarchitects.com.au

DRAWING TITLE:
EXISTING FRONT & REAR ELEVATIONS

SCALE:
1:100@A3

APPROVED:
JM

DATE:
26.10.21

PROJECT:
TEMPELHOF

TOWN PLANNING

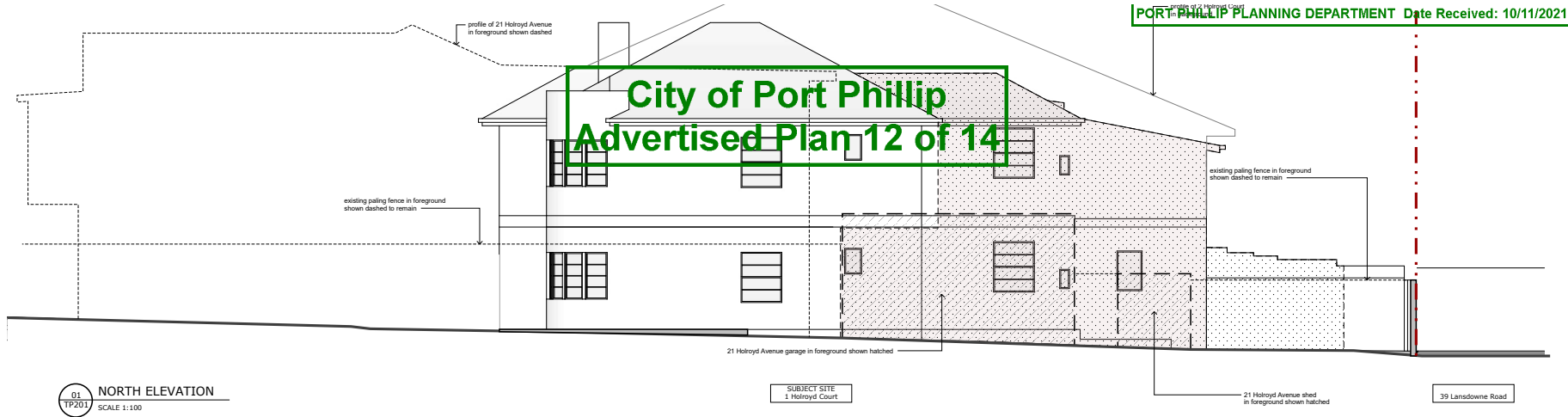
ADDRESS:
1 HOLROYD COURT, ST KILDA EAST

DRAWN:
HP

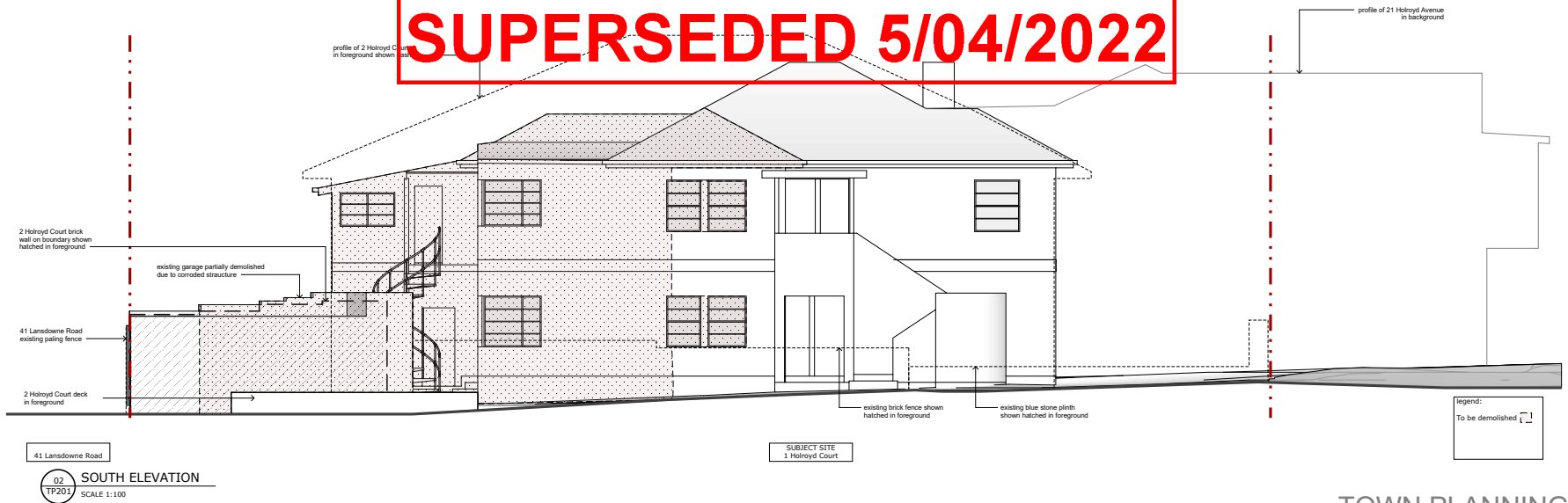
JOB NO:
2101

DRAWING NO:
TP200

REVISION:
B



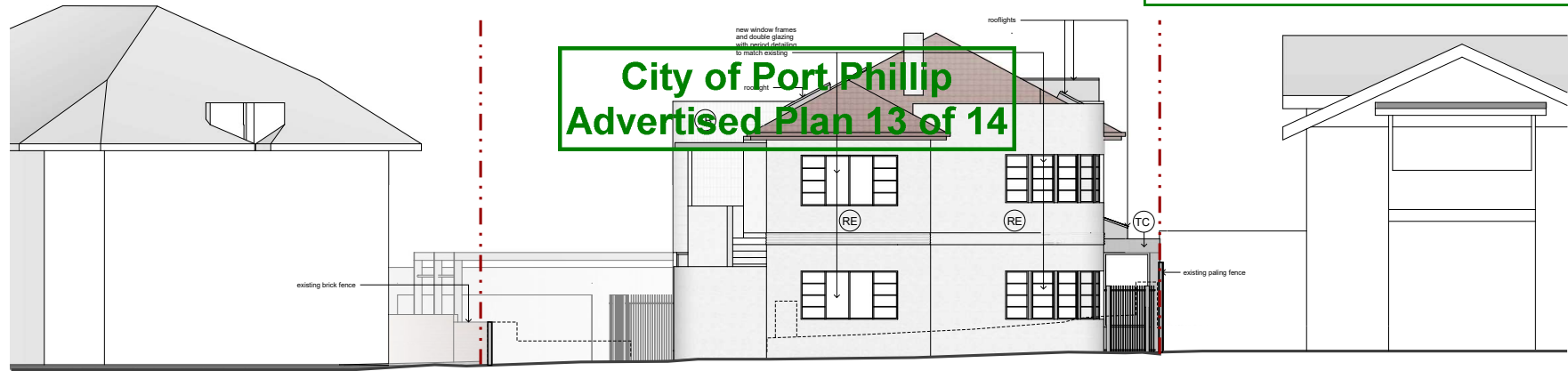
SUPERSEDED 5/04/2022



TOWN PLANNING

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REV	DATE	NOTES																						

City of Port Phillip
Advertised Plan 13 of 14



01 FRONT ELEVATION
SCALE 1:100

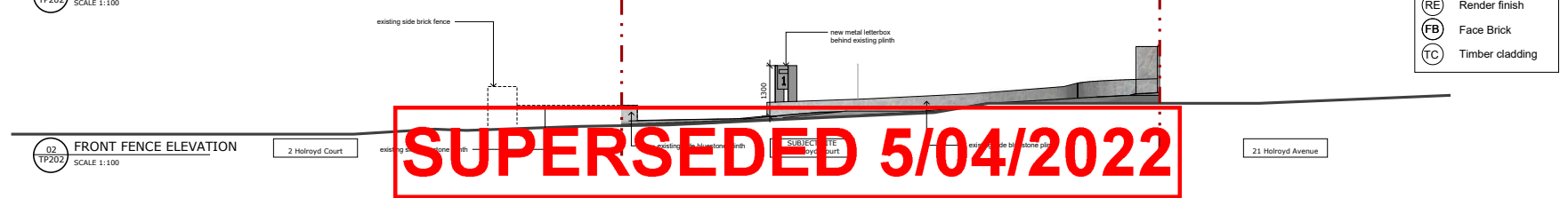
2 Holroyd Court

SUBJECT SITE
1 Holroyd Court

21 Holroyd Avenue

MATERIALS LEGEND

- (RE) Render finish
- (FB) Face Brick
- (TC) Timber cladding



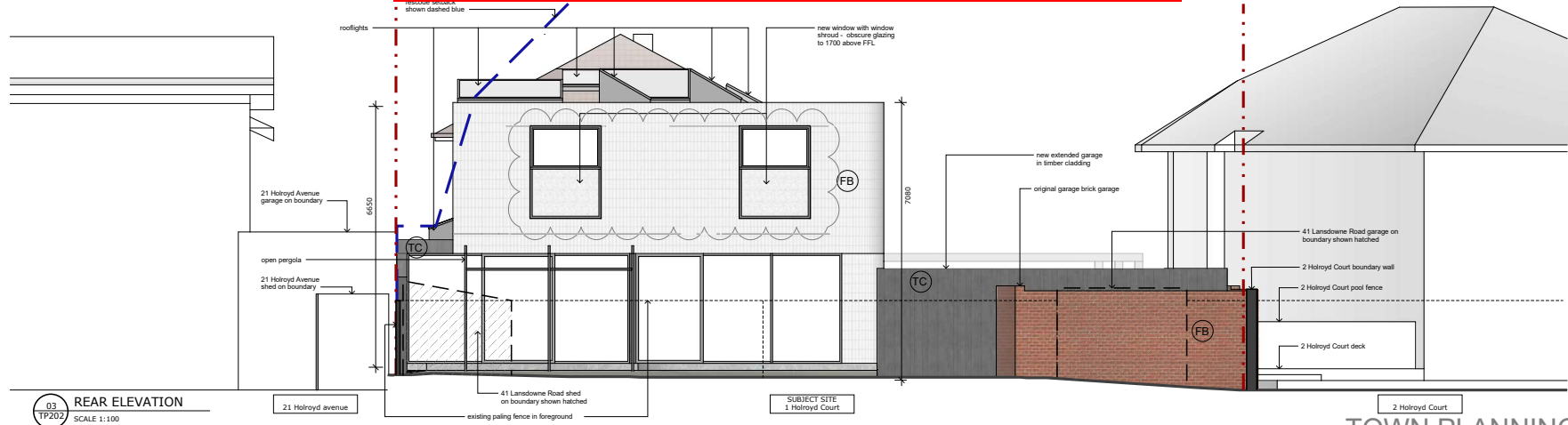
02 FRONT FENCE ELEVATION
SCALE 1:100

2 Holroyd Court

SUBJECT SITE
1 Holroyd Court

21 Holroyd Avenue

SUPERSEDED 5/04/2022



03 REAR ELEVATION
SCALE 1:100

21 Holroyd Avenue

SUBJECT SITE
1 Holroyd Court

2 Holroyd Court

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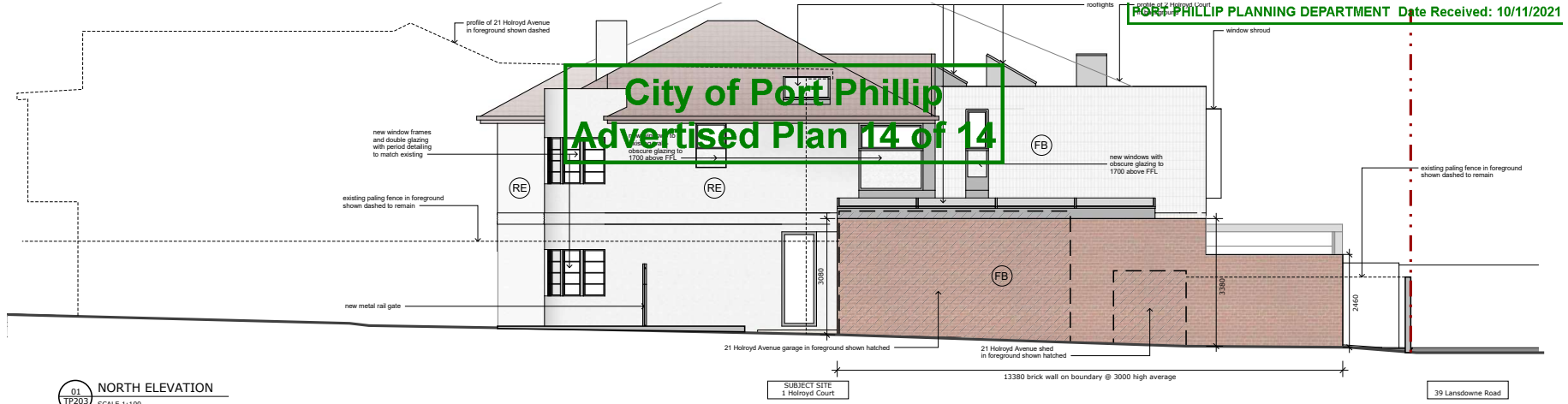
REV	DATE	NOTES
A	28.10.21	Updated design in response to Heritage comments
B	10.11.21	Updated elevation to reflect addition of four foot hallway window

MATYAS ARCHITECTS

MATYAS ARCHITECTS PTY LTD
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EMAIL: architects@matyasarchitects.com.au

DRAWING TITLE: FRONT & REAR ELEVATIONS	SCALE: 1:100@A3	APPROVED: JM	DATE: 10.11.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO.: 2101	DRAWING NO.: TP202	REVISION: B

TOWN PLANNING

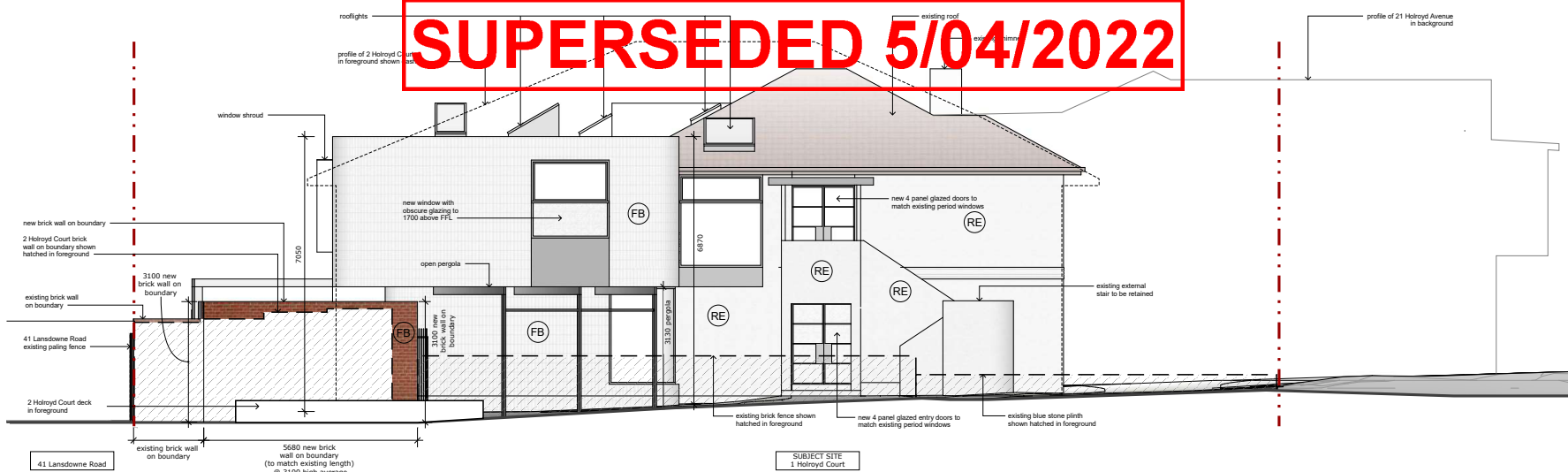


01
TP203
NORTH ELEVATION
SCALE 1:100

SUBJECT SITE
1 Holroyd Court

39 Lansdowne Road

SUPERSEDED 5/04/2022



02
TP203
SOUTH ELEVATION
SCALE 1:100

SUBJECT SITE
1 Holroyd Court

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REV	DATE	NOTES



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TEL: 03 9891 4852
EMAIL: architects@matyasarchitects.com.au

DRAWING TITLE: SIDE ELEVATIONS	SCALE: 1:100@A3	APPROVED: JM	DATE: 26.10.21	PROJECT: TEMPELHOF
ADDRESS: 1 HOLROYD COURT, ST KILDA EAST	DRAWN: HP	JOB NO: 2101	DRAWING NO: TP203	REVISION: A

TOWN PLANNING