

**Victorian Pride Centre
Incorporated Document
September 2018**

1.0 INTRODUCTION

This document is an incorporated document in the Port Phillip Planning Scheme (planning scheme) and is made pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*.

The land identified in Clause 3.0 of this document may be used and developed in accordance with the specific controls and conditions contained in Clause 4.0 of this document.

The controls in this document prevails over any contrary or inconsistent provision in the planning scheme.

2.0 PURPOSE

The purpose of this incorporated document is to allow the use and development of the land for the purposes of the Victoria Pride Centre (project), a mixed-use community and commercial facility.

3.0 LAND DESCRIPTION

The controls in this document applies to the land marked as SCO1 in Port Phillip Planning Scheme Map 06SCO. Specifically, the controls apply to the following land:

- 3/77 Fitzroy Street, St Kilda described as Lot 2 on LP132961.
- 79-81 Fitzroy Street, St Kilda described as Lot 1 on TP345977L.
- Crown Land adjacent to 79-81 Fitzroy Street, St Kilda and airspace over the footpath.

4.0 CONTROL

4.1 EXEMPTION FROM PLANNING SCHEME REQUIREMENTS

Despite any provision to the contrary or any inconsistent provision in the planning scheme, no planning permit is required for, and no planning provision in the planning scheme operates to prohibit, restrict or regulate the use and development of the land for the purposes of the project.

The land may be used and developed for the project subject to the conditions in Clause 4.3 and generally in accordance with the Development Plans that form part of this incorporated document.

The project includes the following use and development:

- Demolition of existing buildings
- Consolidation of the land
- Creation of an easement
- Construction of a multi-storey community and commercial building including an accessible rooftop and a basement to be used for (but not limited to) offices, shops, food and drink premises, radio station, medical centre, place of assembly (excluding a nightclub), reading room, gallery and the sale and consumption of liquor

- On-site car and bicycle parking
- Building services and amenities including store areas, toilets and change facilities and kitchens
- Environmentally sustainable design facilities including solar panels and rainwater tanks
- Display of direction, promotion and business identification signs.

4.2 DEVELOPMENT PLANS

The Development Plans in Appendix 1 that form part of this document are:

‘Victorian Pride Centre, Development Plan, Revision K1, prepared by Grant Amon Architects and Brearley Architects and Urbanists, dated 2 August 2018’

4.3 CONDITIONS

The use and development permitted by this document must be undertaken generally in accordance with the following conditions (which may be amended from time to time, to the satisfaction of the responsible authority) and in conformity with the endorsed plans.

Plans to be endorsed

1. Prior to the commencement of development (other than demolition or works to remediate contaminated land), plans must be submitted to and approved by the responsible authority. The plans must be drawn to scale and an electronic copy submitted to the responsible authority. The plans must be generally in accordance with the Development Plans, but modified to show:
 - a) Any design changes resulting from recommendations contained in the approved:
 - i. Arborist Assessment Report as required by Condition 4
 - ii. Traffic Impact Assessment as required by Condition 9
 - iii. Waste Management Plan as required by Condition 11
 - iv. Noise and Amenity Action Plan as required by Condition 21
 - v. Acoustic Report as required by Condition 22
 - vi. Green Travel Plan as required by Condition 10;
 - b) Any design changes resulting from recommendations contained in the CPTED Safety in Review Report 79-81 Fitzroy Street, St Kilda, prepared by Salus Risk Consulting, Revision 2, dated 13 August 2018;
 - c) Details of the fencing provided around the rear ground floor sunken courtyard;
 - d) Details of loading / unloading facilities;
 - e) Addresses and Lot Details on Drawing A0002;
 - f) Dimensions of all building setback distances from each title boundary on each level;
 - g) The crossover on Jackson Street constructed as a rollover crossover and the footpath retained as its existing level and materials, with this detail submitted as a section diagram;
 - h) The public car parking spaces having a 3-hour time limit;
 - i) An electronic directional sign on Jackson Street that provides an indication of the availability of the public bays, for advertising the availability of public bays;
 - j) Clearly defined land uses on each level and rooftop, stating net floor areas;
 - k) A schedule and sample panel of all external materials and finishes showing materials, colours and finishes, roof and glazing treatment;
 - l) Details of all signs; and

- m) Details of the carriageway easement which benefits the adjoining land contained in certificate of title volume 4354 folio 607 known as 2/77 Fitzroy Street, St Kilda.

Use and Development

2. The use and development must be constructed and operated in accordance with the Endorsed Plans, unless with the prior written consent of the responsible authority.
3. Any activity conducted on the land must not include a land use prohibited by the provisions of the Commercial 1 Zone.

Retention of specified trees

4. Prior to the approval of the endorsed plans under Condition 1, an Arborist Assessment Report prepared by a qualified landscape architect/arborist must be submitted to and approved by the responsible authority. The Arborist Assessment Report must specify the existing trees on and immediately adjacent to the site proposed for retention and how they will be retained and protected during construction in accordance with *AS 4970-2009 Tree protection on development sites* and maintained in good health once the project is completed.

When approved, the report will be endorsed and will form part of this document.

The actions and recommendations of the report must be implemented to the satisfaction of the responsible authority.

Removal and Replacement of Street Tree

5. Prior to the commencement of development, the amenity value and removal and replacement cost of the street tree must be paid by the land owner to the responsible authority. Removal and replacement, including 24-month maintenance of the street tree, may only be undertaken by the responsible authority.

Pruning of Canopies of trees to be Retained

6. Any pruning required to the canopy of any trees retained on-site or on adjacent land, is to be done by a qualified Arborist to *AS 4373 - 2007 Pruning of Amenity Trees* to the satisfaction of the responsible authority.

Pruning of Root Systems of Trees to be Retained

7. Any pruning of the root system of any existing tree to be retained is to be done by hand by a qualified Arborist to the satisfaction of the responsible authority.

Sustainability Management Plan

8. Prior to the commencement of development (excluding demolition), a Sustainability Management Plan (SMP) outlining proposed sustainable design initiatives must be submitted to the responsible authority. The SMP must either confirm that the development has been registered with the Green Building Council of Australia

(GBCA), seeking a minimum 5 Star Green Star rating (or equivalent), or demonstrate how alternative sustainability initiatives will achieve a similar overall sustainability performance outcome, to the satisfaction of the responsible authority. When approved, the SMP will be endorsed and form part of this document. The development must incorporate the sustainable design initiatives listed in the approved SMP before any use approved under this incorporated document commences.

Traffic Impact and Parking

9. Prior to the approval of the endorsed plans under Condition 1, a Traffic Impact Assessment prepared by a qualified person must be submitted to and approved by the responsible authority. The Traffic Impact Assessment must be to the satisfaction of the responsible authority and include:
 - a. A car parking and traffic engineering design assessment for the Project
 - b. All development and ongoing uses on the site
 - c. Access arrangements to be implemented
 - d. Method to clearly define the Victorian Pride Centre car parking spaces from the Public Car Parking Spaces in the Basement level

When approved, the Traffic Impact Assessment will be endorsed and will form part of this document.

The actions and recommendations of the Traffic Impact Assessment must be carried out to the satisfaction of the responsible authority.

Green Travel Plan

10. Prior to the approval of the endorsed plans under Condition 1, a Green Travel Plan prepared by a suitably qualified professional, must be submitted to and approved by the responsible authority. The Green Travel Plan must provide detailed advice regarding how traffic movements and staff parking will be managed and ensure that alternative, non-private vehicle transport modes will be encouraged and maximised. The plan should also identify specific opportunities for the provision of more sustainable transport options and encouragement of their use. The plan must include, but not be limited to:
 - a. Maximisation of bicycle related infrastructure including increased provision of bicycle parking, provision of air pumps at on-site bicycle parking areas, increased bicycle hoops at the Fitzroy Street frontage of the site and at other off-site locations within 50 metres of the site, provision of additional bicycle user amenities (lockers, showers, towel drying facilities, etc.).
 - b. Installation of permanent fixtures within the building to erect signs in prominent locations advising of directions to nearest tram, train and bus stops and associated timetabling; information regarding the location of nearby car share services; and information on nearby bicycle routes and on-site / nearby bicycle parking facilities.

- c. Establishment of a Commuter Club that requires tenants to pay an annual fee to fund car share membership, myki passes and electric fleet bicycles.
- d. Introduction of a strategy to encourage visitors to the VPC to utilise sustainable travel modes.
- e. Scooter / electric bicycle charging points.
- f. Provision of scooter / motorcycle parking.
- g. Introduction of a strategy to maximise the use of car share services for tenants and visitors of the site where car movements are necessary.
- h. Introduction of time limitations on public parking on-site to discourage use by commuters to the VPC.
- i. Specific targets to guide and monitor the ongoing implementation of the Green Travel Plan.
- j. Identification of persons responsible for the implementation of actions.
- k. Estimated timescales and costs for each action.
- l. Inclusion of a plan for the monitoring and review of the Travel Plan every 3 years after the use of the building commences.

When approved, the Green Travel Plan will be endorsed and will form part of the incorporated document. At the commencement of occupation of the development, the Green Travel Plan approved as part of this document must be implemented. Ongoing implementation, management and monitoring of the Green Travel Plan must be undertaken to the satisfaction of the responsible authority to ensure ongoing commitments to alternative modes of transport are met.

Waste Management Plan

11. Prior to the approval of the endorsed plans under Condition 1, a Waste Management Plan prepared by a qualified Waste Management Engineer or Waste Management Planner must be submitted to and approved by the responsible authority. The Waste Management Plan must be prepared in accordance with the City of Port Phillip's Waste Management Plan Guidelines for Developments (or successor document).

The plan must include reference to the following:

- a. Land use type.
- b. The estimated garbage and recycling volumes for the whole development.
- c. Bin quantity, size and colour.
- d. The garbage and recycling equipment to be used.
- e. Collection frequency.
- f. Collection must be after 10am on any day.
- g. The location and space allocated to the garbage and recycling bin storage area and collection point.
- h. The waste services collection point for vehicles.
- i. Waste collection provider.
- j. Scaled waste management drawings.
- k. Signage.

When approved, the Waste Management Plan will be endorsed and will form part of this document.

The actions and recommendations of the Waste Management Plan must be carried out to the satisfaction of the responsible authority.

Amenity, Noise and the sale and consumption of liquor

12. All external lighting must be baffled to ensure no adverse impact on abutting or adjacent properties to the satisfaction of responsible authority.
13. All external building elevations, fixtures and works must be maintained in good condition at all times in accordance with the schedule of finishes shown on the endorsed plans to the satisfaction of responsible authority.
14. The amenity of the area must not be detrimentally affected by the use or development of the land to the satisfaction of the responsible authority, including through the:
 - a. Transport of materials, goods or commodities to or from the land
 - b. Appearance of any building, works or materials
 - c. Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, water, waste products, grit or oil
 - d. Presence of vermin.
15. The use of the outdoor areas on the site (excluding the adjacent Fitzroy Street footpath at Ground Floor Level) must cease after 10pm. All doors, windows and openable areas to these outdoor areas on the site must remain closed after 10pm. This can be varied with the written consent of the responsible authority.
16. The sale, storage and consumption of liquor must only occur within the red line area as shown on the endorsed plan.
17. The sale, storage and consumption of liquor must only occur within the following hours:

Ground floor	10am – 1am the following day
Level 2 indoor function space	10am – 1am the following day
Level 2 outdoor function space	10am – 10pm
Roof top	10am – 10pm

During these times, patron numbers are limited to:

Ground floor	90
Level 2 function space	140 (indoor and outdoor function space)
Roof top	100

This can be varied with the prior written consent of the responsible authority.

18. Prior to the commencement of use signs must be erected near the entrance/exit and in the toilets requesting that patrons leave the building in a quiet and orderly manner so as not to disturb the peace and quiet of the neighbourhood to the satisfaction of the responsible authority.
19. Noise levels must not exceed the permissible noise levels stipulated in *State and Environment Protection Policy N-1 (Control of Noise from Industrial Commercial and Trade Premises within the Melbourne Metropolitan Area)* and *State and Environment Protection Policy N-2 (Control of Music Noise from Public Premises)* to the satisfaction of the responsible authority.
20. Live music performances in outdoor spaces must only be acoustic with no percussive instruments and must not exceed the requirements of *State Environment Protection Policy (Control of Music Noise from Public Premises) No. N-2 (SEPP N-2)* to the satisfaction of the responsible authority. This can be varied with the prior written consent of the responsible authority.
21. Before occupation of the building, a Noise and Amenity Action Plan prepared by a suitably qualified professional must be submitted to and approved by the responsible authority, and contain the following:
 - a. The identification of all noise sources associated with the licensed premise (including, but not limited to, music noise, external areas allocated for smokers, queuing lines, entries and exits to the premises).
 - b. Hours of operation for all parts of the premises.
 - c. Design details to ensure that ground level patrons at the rear are confined within the boundaries of the site.
 - d. Details of the provision of music including the frequency and hours of entertainment provided by live bands and DJs.
 - e. The identification of noise sensitive areas including residential uses and accommodation in proximity to the licensed premise.
 - f. Measures to be undertaken to address all noise sources identified, including on and off-site noise attenuation measures, including but not limited to:
 - i. The measures to be taken by management and staff to ensure patrons depart the premises and the surrounding area in an orderly manner.
 - ii. The measures to be taken by management and staff to ensure that patrons queue to enter the premises in an orderly manner and maintain satisfactory clearance for other pedestrians on the footpath.
 - g. Details of staffing arrangements including numbers and working hours of all security staff.
 - h. Standard procedures to be undertaken by staff in the event of a complaint by a member of the public, the Victoria Police, an authorised officer of the responsible authority or an officer of the liquor licensing authority.
 - i. A telephone number provided for residents to contact the premises and linked to the complaints register;
 - j. The maintenance of a complaint register, which must, on reasonable request, be made available for inspection by the responsible authority.

- k. Location of lighting within the boundaries of the site, security lighting outside the licensed premise and any overspill of lighting.
- l. Details of any measures to work with neighbours or other residents in the immediate area to address complaints and general operational issues.
- m. Any other measures to be undertaken to ensure minimal amenity impacts from the licensed premise.
- n. Location and operation of air-conditioning, exhaust fan systems, security alarms and the like.

When approved, the Noise and Amenity Action Plan will be endorsed and will form part of this document.

The actions and recommendations of the Noise and Amenity Action Plan must be carried out to the satisfaction of the responsible authority.

22. Before occupation of the building, an Acoustic Report prepared by a suitably qualified Acoustic Consultant must be submitted to and approved by the responsible authority. This report must confirm that a Noise Monitor/s and Limiter/s ("the Device") is operating and has all of the following characteristics which are also operating:
- a. Each Device limits internal noise levels so as to ensure compliance with the music noise limits according to *State Environment Protection Policy (Control of Music Noise from Public Premises) No. N-2 (SEPP N-2)*.
 - b. Each Device is a limiter suitable for interfacing with a Permanently Installed Sound System which will include any amplification equipment and loudspeakers.
 - c. Each Device monitors noise levels at frequencies between 50Hz and 100Hz and is wired to ensure that the limiter governs all power points potentially accessible for amplification.
 - d. Each Device controls are in a locked metal case that is not accessible by personnel other than a qualified acoustic engineer or technician nominated by the owner of the land and notified to the Responsible Authority.
 - e. Each Device is installed to control all amplification equipment and associated loudspeakers.
 - f. Each Device is set in such a way that the power to the amplification equipment is disconnected for 15 seconds if the sound level generated by the amplification equipment exceeds for one second the maximum sound level for which the monitor is set.
 - g. The monitor level component of the Device includes a calibratable frequency discriminating sound analyser with an internal microphone incorporated in its own tamper-proof enclosure (beyond the normal reach of a person). Such a sound analyser will indicate by green, amber and red illuminated halogen lamps the approach and exceeding of the set maximum noise level. The lamps must be in the clear view of the staff and any disc jockey in the room.
 - h. Each Device must prevent a relevant noise level referred to in these conditions being exceeded;
 - i. Which report demonstrates compliance with the *State Environment Protection Policy (Control of Music Noise from Public Premises) No. N-2 (SEPP N-2)* noise limits.

When approved, the Acoustic Report will be endorsed and will form part of the incorporated document.

The actions and recommendations of the Acoustic Report must be carried out to the satisfaction of the responsible authority.

23. A bottle crusher must be located within the premises and used for the disposal of bottles and glass. Disposal of the crushed bottles and glass outside of the premises must not occur after 10pm or before 8am Monday to Saturday or after 10 pm or before 10am on Sunday. This can be varied with the prior written consent of the responsible authority.

Consolidation of Site

24. Before occupation of the building, the following lots must be consolidated:
- a. 3/77 Fitzroy Street, St Kilda (Lot 2 on LP132961)
 - b. 79-81 Fitzroy Street, St Kilda (Lot 1 on TP345977L)

A copy of the Certificate of Title must be submitted to the responsible authority.

Projections

25. The owner of the land must obtain a tenure authorisation under the Land Act 1958 from the Secretary to the Department of Environment, Land, Water and Planning (DELWP) and/ or an appropriate road reserve licence under the *Road Management Act 2004* from VicRoads for any building projections over Crown Land (adjacent to 79-81 Fitzroy Street). That authorisation must indemnify the City of Port Phillip, DELWP and VicRoads (as appropriate) against any claim regarding the projections. Should the owner of the property seek to commence works prior to the issue of this authorisation, the owner must first enter into a legal agreement under Section 173 of the *Planning and Environment Act 1987*, that specifies the liability for claims relating to or arising from those parts of the development projecting into airspace or sub-soil of land under the care and management of the City of Port Phillip. The owner of the subject land must pay all reasonable legal costs and expenses of the City of Port Phillip for the agreement, including preparation, execution and registration on title.

General Conditions

26. Once the development has started it must be continued and completed to the satisfaction of the responsible authority.
27. Parking areas and access ways must be kept available for those purposes at all times.
28. The open section of land in the south-west corner of the site, at ground level, is to be maintained by the relevant Owners' Corporation(s) to the satisfaction of the responsible authority.

29. Before occupation of the building vehicle crossings must be constructed in accordance with council's current Vehicle Crossing Guidelines and standard drawings to the satisfaction of the responsible authority. All redundant crossings must be removed and the footpath, nature strip, kerb and road reinstated as necessary at the cost of the land owner, at no cost to the responsible authority and to the satisfaction of the responsible authority.
30. Before occupation of the building the land owner must:
- a. Pay the costs of all alterations to, and reinstatement of council and Public Authority assets as necessary and required by such Authorities for the development;
 - b. Obtain the prior written approval of the council or other relevant Authority for such alterations/reinstatement works; and
 - c. Comply with conditions (if any) required by the council or other relevant Authorities in respect of alterations/reinstatement.

Section 173 Agreement

31. Before the development starts (other than demolition or works to remediate contaminated land), the owner of the land must enter into an agreement under Section 173 of the *Planning and Environment Act 1987* with the responsible authority. The agreement must be in a form to the satisfaction of the responsible authority, and the land owner must be responsible for the expense of the preparation and registration of the agreement, including the responsible authority's reasonable costs and expense (including legal expenses) incidental to the preparation, registration and enforcement of the agreement. The agreement must provide for the following:
- a. The removal of all window or building openings located on a common boundary are to be removed by the land owner if deemed necessary by the responsible authority as part of the redevelopment of an adjoining property;
 - b. The arrangements for projections over Fitzroy Street including matters to the satisfaction of council, including arrangements to deal with (but not be limited to) the following matters:
 - iii. Licence – term, no easements of support, licence fee and payment, no claim by adverse possession;
 - iv. Maintenance and compliance with laws – construction requirements, repair and maintenance, no alterations, cleaning, compliance with laws, make good arrangements;
 - v. Nuisance;
 - vi. Indemnities in favour of council;
 - vii. Insurances; and
 - viii. Rights for council to access.

The land owner must pay the City of Port Phillip's reasonable legal costs and expenses of this agreement, including preparation, execution and registration on title.

The agreement must be registered on Title in accordance with Section 181 of the *Planning and Environment Act 1987*.

Prior to the commencement of use, a dealing number must be provided to the responsible authority.

5.0 EXPIRY

30. The specific controls contained in this document will expire if one of the following circumstances applies:
- a. The development is not commenced by 30 June 2021;
 - b. The development is not completed by 30 June 2025;
 - c. The use of the land for the project is not commenced within two (2) years of completion of the development.

The responsible authority may extend these periods referred to if a request is made in writing before these controls expire or within six (6) months afterwards.

**APPENDIX 1 – VICTORIAN PRIDE CENTRE, DEVELOPMENT PLAN, REVISION K1,
PREPARED BY GRANT AMON ARCHITECTS AND BREARLEY ARCHITECTS AND
URBANISTS, DATED 2 AUGUST 2018**

VICTORIAN PRIDE CENTRE

79-81 FITZROY STREET, ST KILDA VIC 3182

A000-020 SITE DRAWINGS

- A000 TITLE SHEET
- A001 EXISTING CONDITIONS PLAN
- A002 TITLE PLAN & TREE REMOVAL PLAN

A099-148 FLOOR PLANS

- A099 BASEMENT FLOOR PLAN
- A100 GROUND FLOOR PLAN
- A100a MEZZANINE FLOOR PLAN
- A101 LEVEL 01 FLOOR PLAN
- A102 LEVEL 02 FLOOR PLAN
- A103 LEVEL 03 FLOOR PLAN
- A104 LEVEL 04 FLOOR PLAN
- A105 ROOF PLAN

A400-449 SECTIONS

- A400 SECTION AA
- A401 SECTION BB
- A402 SECTION CC

A500-549 ELEVATIONS

- A500 NORTH-WEST ELEVATION (FITZROY ST)
- A501 SOUTH-WEST ELEVATION (JACKSON ST)
- A502 SOUTH-EAST ELEVATION (JACKSON ST)
- A503 NORTH-EAST ELEVATION

A600 INDICATIVE MATERIAL AND FINISHES SCHEDULE

Note:

- Setback dimensions are approximate only and subject to change associated with detailed design.
- Internal layouts and configuration are indicative only and are subject to change associated with detailed design and confirmation of end user requirements.

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BUILDER TO CONFIRM ALL DIMENSIONS ON SITE.
 BUILDERS TO NOTIFY THE ARCHITECT OF ANY
 DISCREPANCIES BETWEEN DOCUMENTATION
 DRAWINGS AND ON SITE MEASUREMENTS.

STATUS

DEVELOPMENT PLAN

PROJECT

VICTORIAN PRIDE CENTRE

ADDRESS

79-81 FITZROY STREET
 ST. KILDA, VIC 3182

CLIENT

VICTORIAN PRIDE CENTRE

PROJECT NO.

BAU003M

DISCIPLINE

ARCHITECTURE

DRAWN BY

BAU

SCALE

1:100 @ A1

REVISION REASON FOR REVISION

DATE

REV	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME

TITLE SHEET

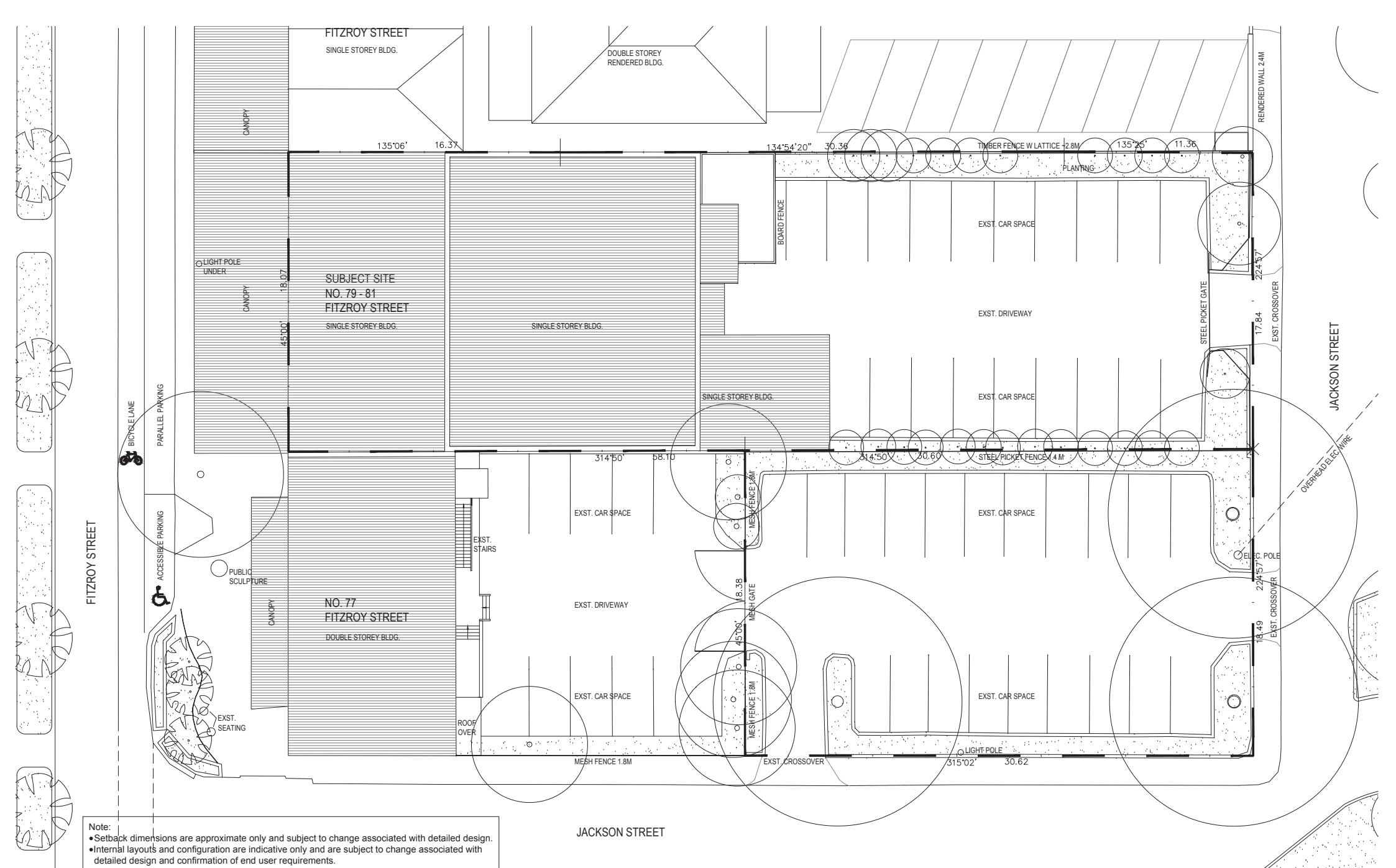
CURRENT REVISION

REV K1

SHEET NO.

02/08/18

A000



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 P T Y L T D

TRUE NORTH
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BUILDER TO CONFIRM ALL DIMENSIONS ON SITE
 BUILDER TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN DOCUMENTATION DRAWINGS AND ON SITE MEASUREMENTS.

STATUS
DEVELOPMENT PLAN

PROJECT
VICTORIAN PRIDE CENTRE

ADDRESS
79-81 FITZROY STREET ST. KILDA, VIC 3182

CLIENT
VICTORIAN PRIDE CENTRE

PROJECT NO.
BAU003M

DISCIPLINE
ARCHITECTURE

DRAWN BY
BAU

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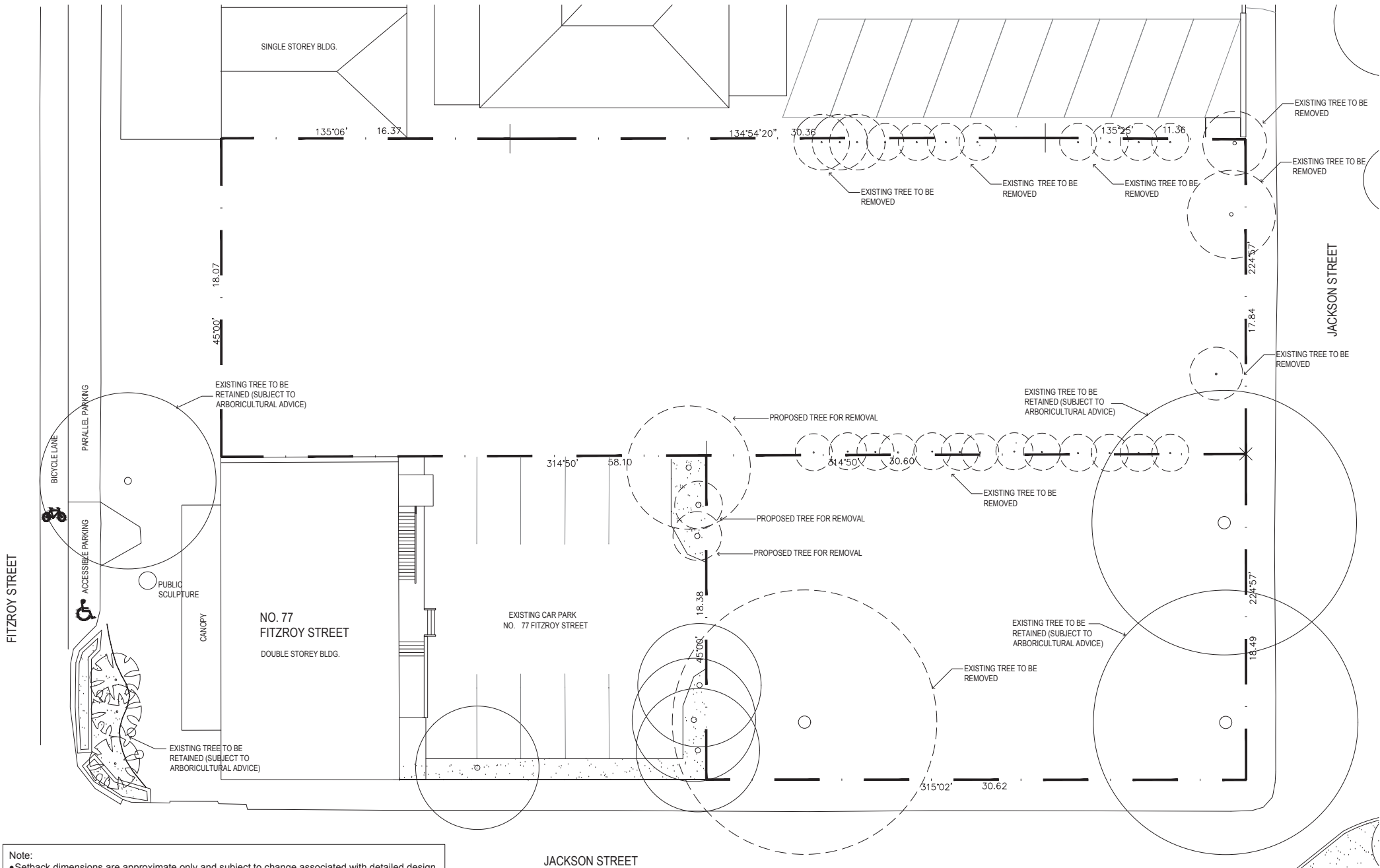
REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.08.18
REV G	REVISED INTERNAL LAYOUT	20.08.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME
EXISTING CONDITIONS PLAN

CURRENT REVISION
REV K1

DATE
02/08/18

SHEET NO.
A001



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TRUE NORTH PROJECT NORTH
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STATUS **DEVELOPMENT PLAN**

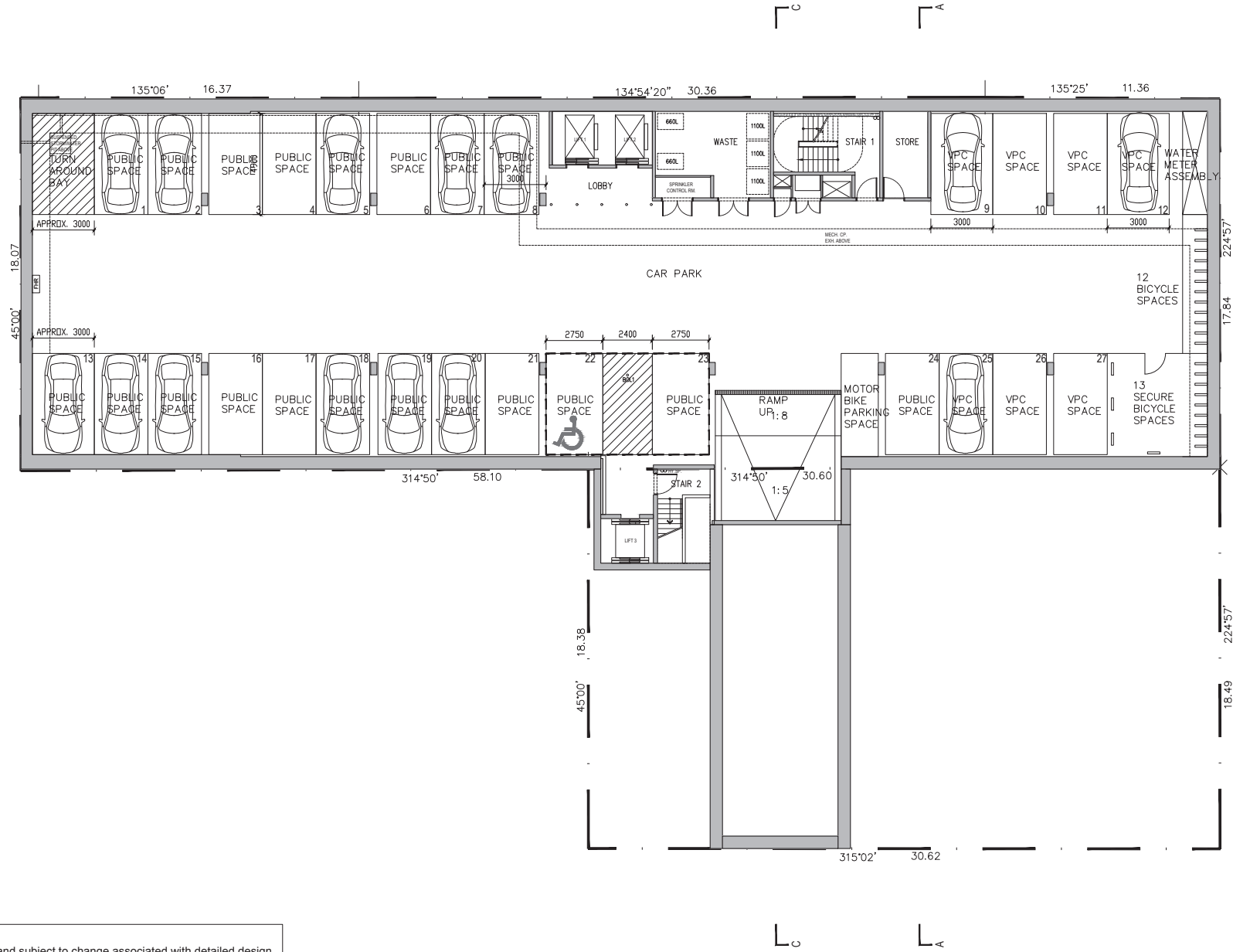
PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME
 CURRENT REVISION **REV K1**
 DATE **02/08/18**

TITLE PLAN & TREE REMOVAL PLAN
 SHEET NO. **A002**



Note:
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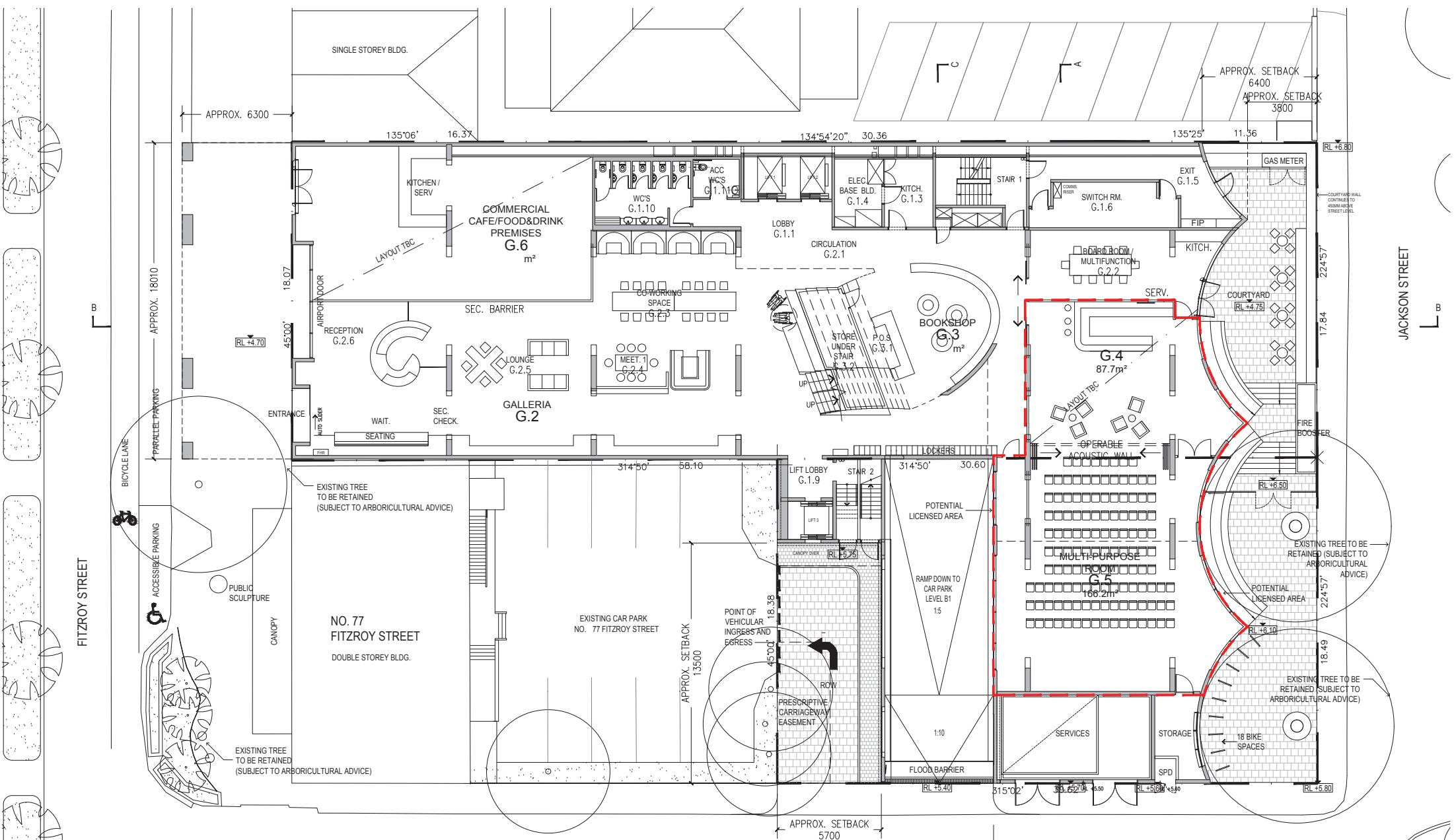
STATUS **DEVELOPMENT PLAN**

PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	TRAFFIC REPORT	27.06.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **BASEMENT FLOOR PLAN**
 CURRENT REVISION **REV K1**
 DATE **02/08/18**
 SHEET NO. **A099**



Note:
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BUILDER TO CONFIRM ALL DIMENSIONS ON SITE. BUILDER TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN DOCUMENTATION DRAWINGS AND ON SITE MEASUREMENTS.

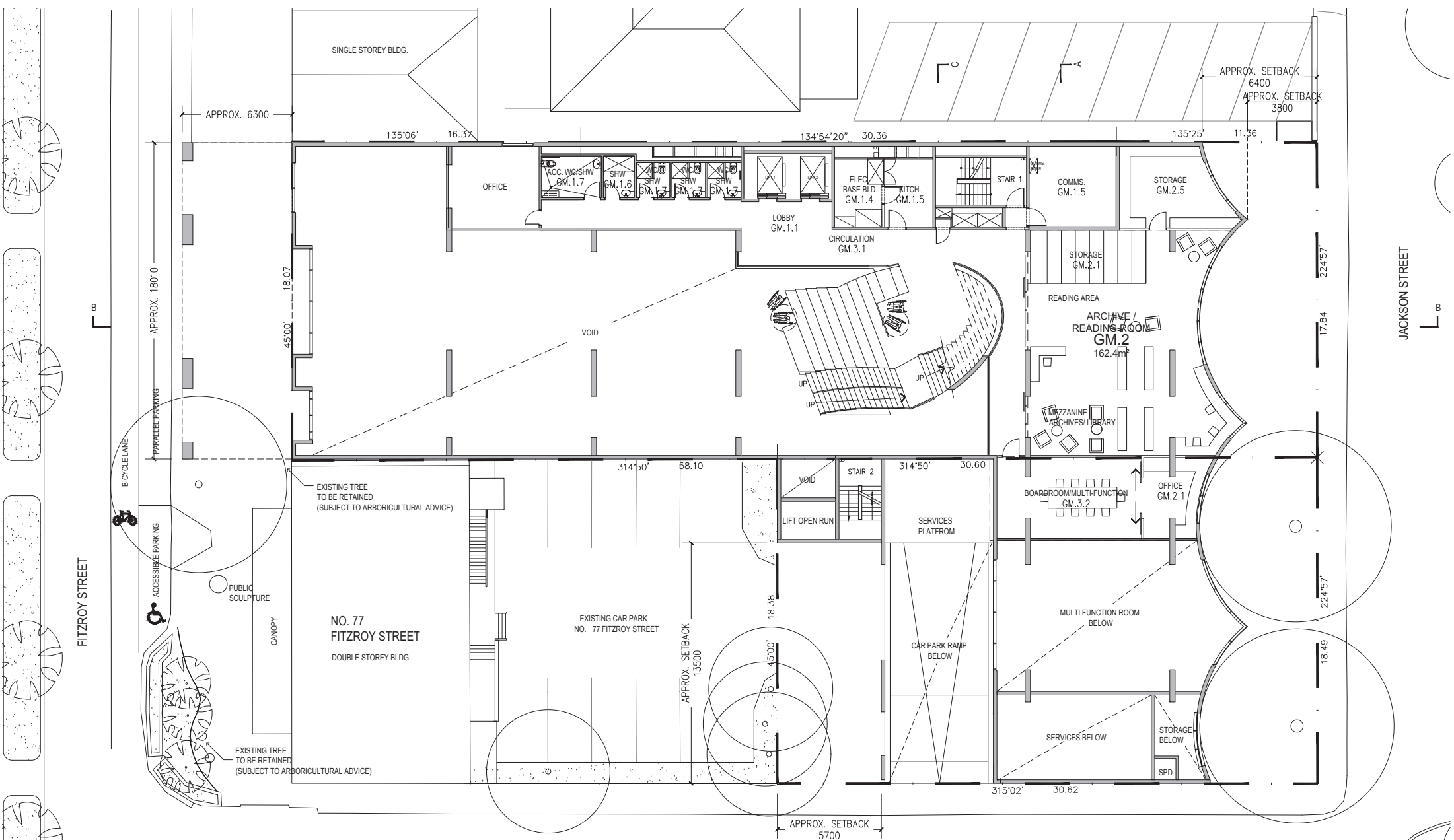
STATUS: **DEVELOPMENT PLAN**

PROJECT: **VICTORIAN PRIDE CENTRE**
 ADDRESS: **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT: **VICTORIAN PRIDE CENTRE**

PROJECT NO.: **BAU003M**
 DISCIPLINE: **ARCHITECTURE**
 DRAWN BY: **BAU**
 SCALE: **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE	DRAWING NAME
REV.F	INFORMATION	08.08.18	GROUND FLOOR PLAN
REV.G	REVISED INTERNAL LAYOUT	20.08.18	
REV.H	TRAFFIC REPORT	27.08.18	
REV.J	TOWN PLANNING AMENDMENT	31.07.18	
REV.K	TOWN PLANNING AMENDMENT	02.08.18	
REV.K1	REVISION FLAGPOLE	10.09.18	02/08/18

CURRENT REVISION: **REV K1**
 SHEET NO.: **A100**



Note:
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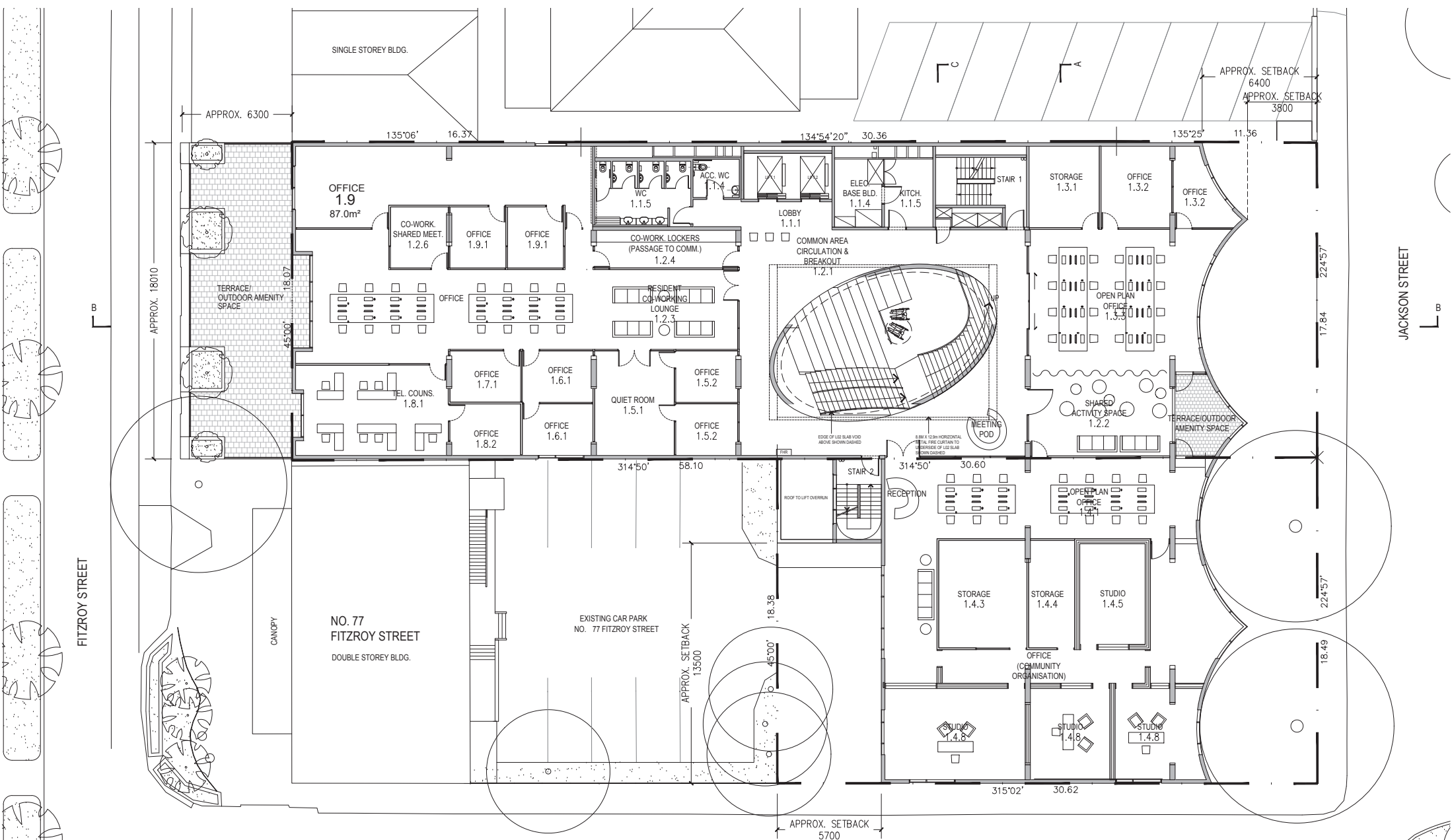
STATUS **DEVELOPMENT PLAN**

PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **MEZZANINE LEVEL FLOOR PLAN**
 CURRENT REVISION **REV K1**
 DATE **02/08/18**
 SHEET NO. **A100A**



Note:
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STATUS
DEVELOPMENT PLAN

PROJECT
VICTORIAN PRIDE CENTRE

ADDRESS
79-81 FITZROY STREET ST. KILDA, VIC 3182

CLIENT
VICTORIAN PRIDE CENTRE

PROJECT NO.
BAU003M

DISCIPLINE
ARCHITECTURE

DRAWN BY
BAU

SCALE
1:100 @ A1

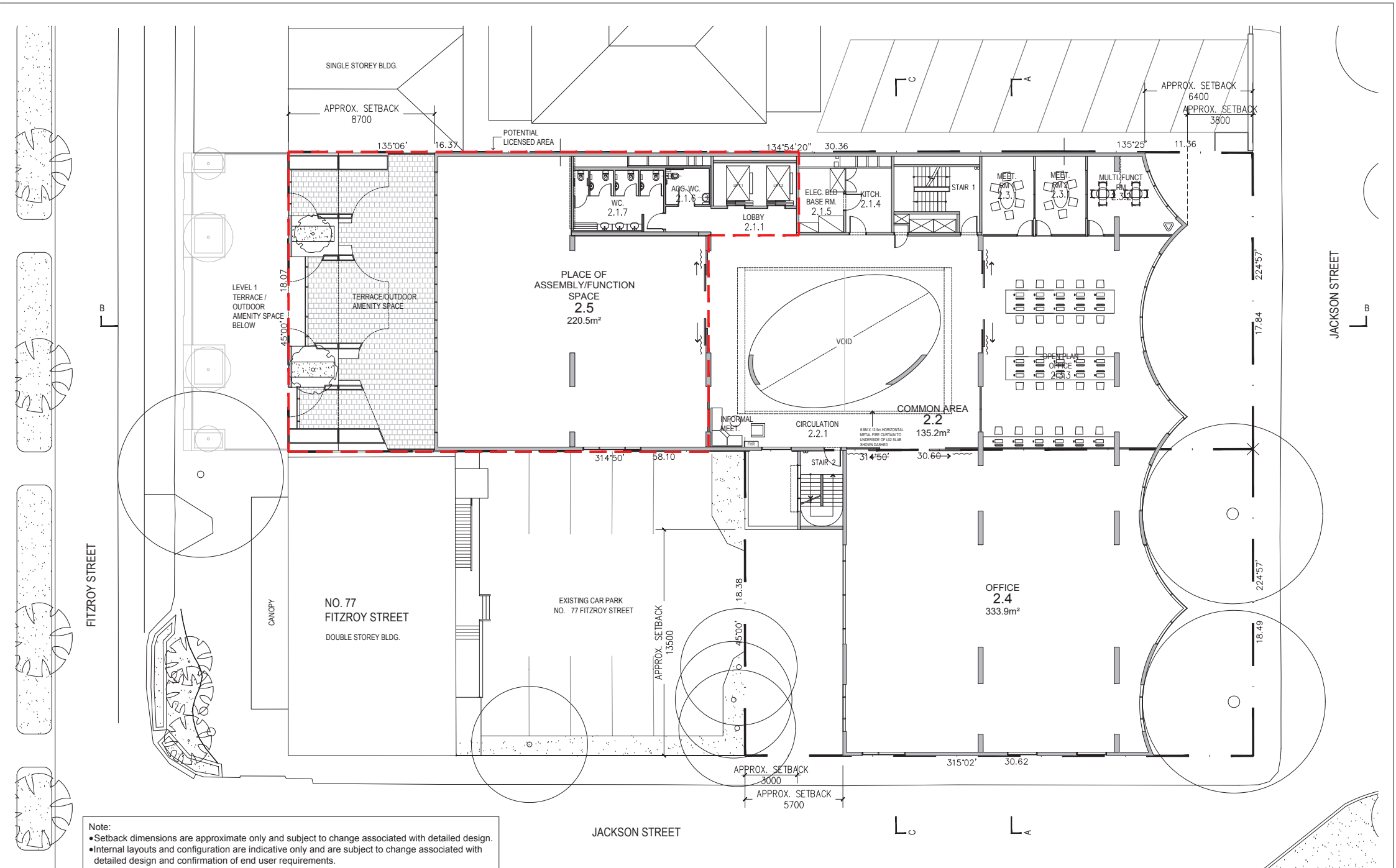
REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME
LEVEL 01 FLOOR PLAN

CURRENT REVISION
REV K1

DATE
02/08/18

SHEET NO.
A101



Note:
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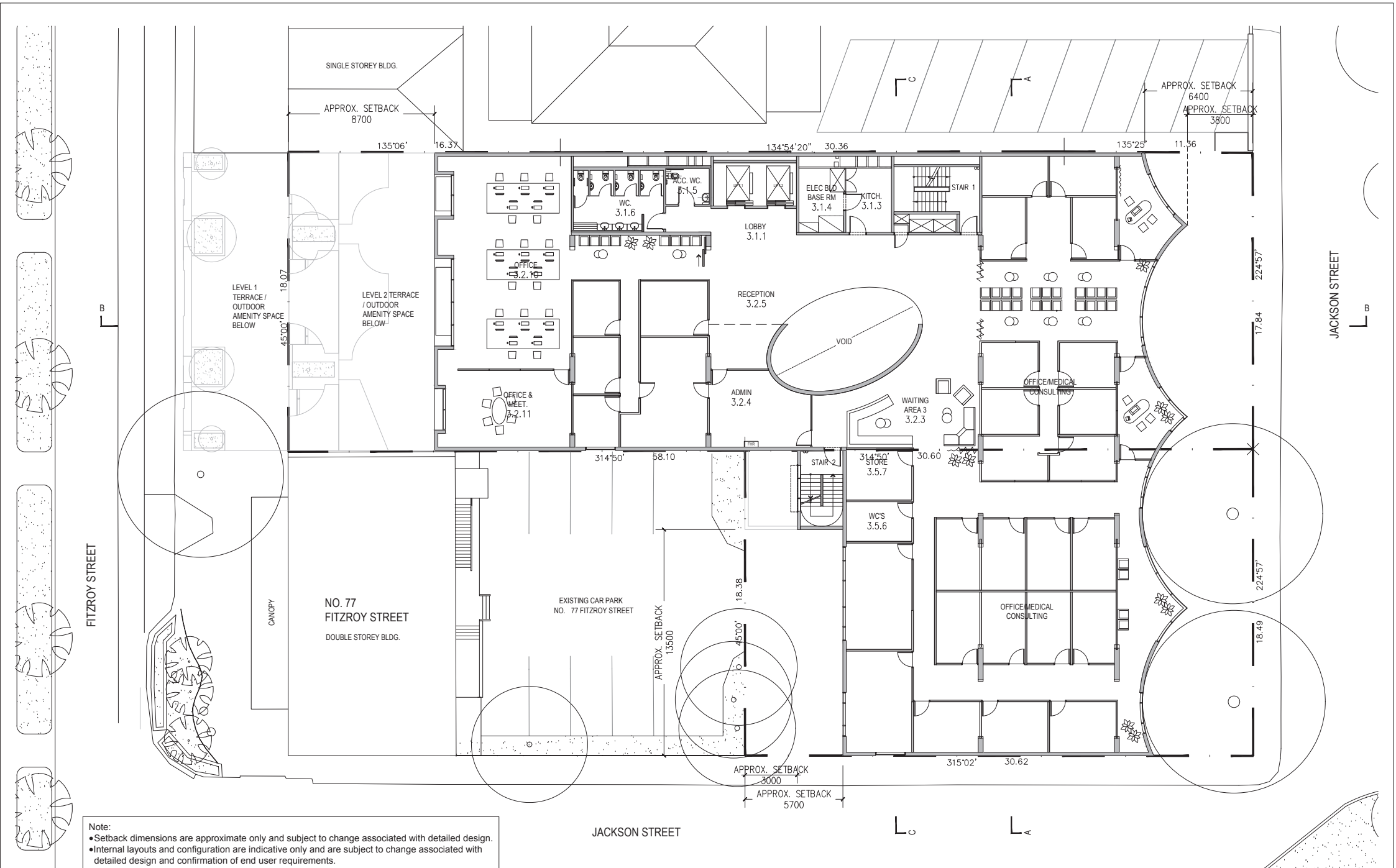
STATUS **DEVELOPMENT PLAN**

PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **LEVEL 02 FLOOR PLAN**
 SHEET NO. **REV K1**
 DATE **02/08/18**
A102



Note:
 •Setback dimensions are approximate only and subject to change associated with detailed design.
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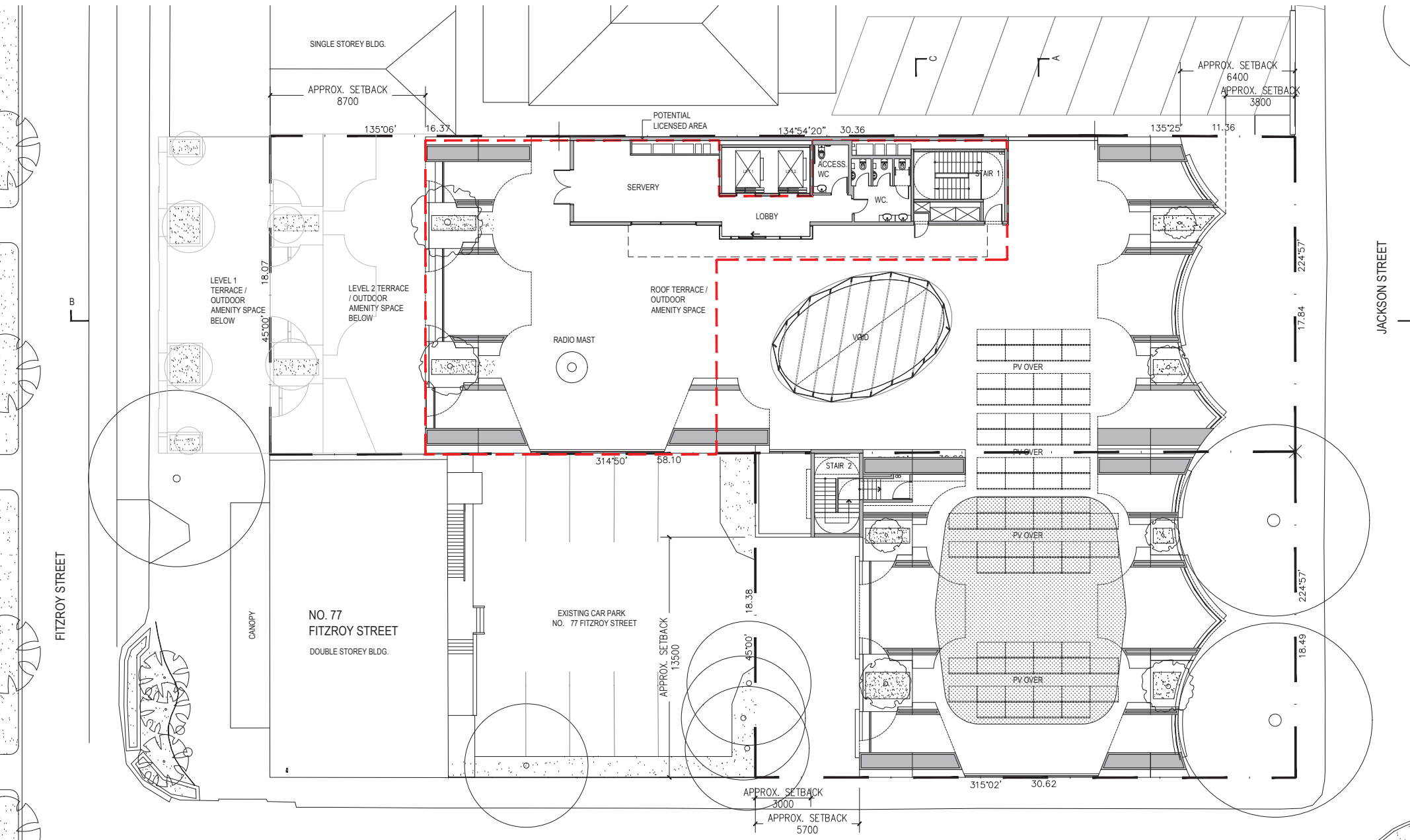
STATUS **DEVELOPMENT PLAN**

PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **LEVEL 03 FLOOR PLAN**
 SHEET NO. **REV K1**
 DATE **02/08/18**
A103



Note:
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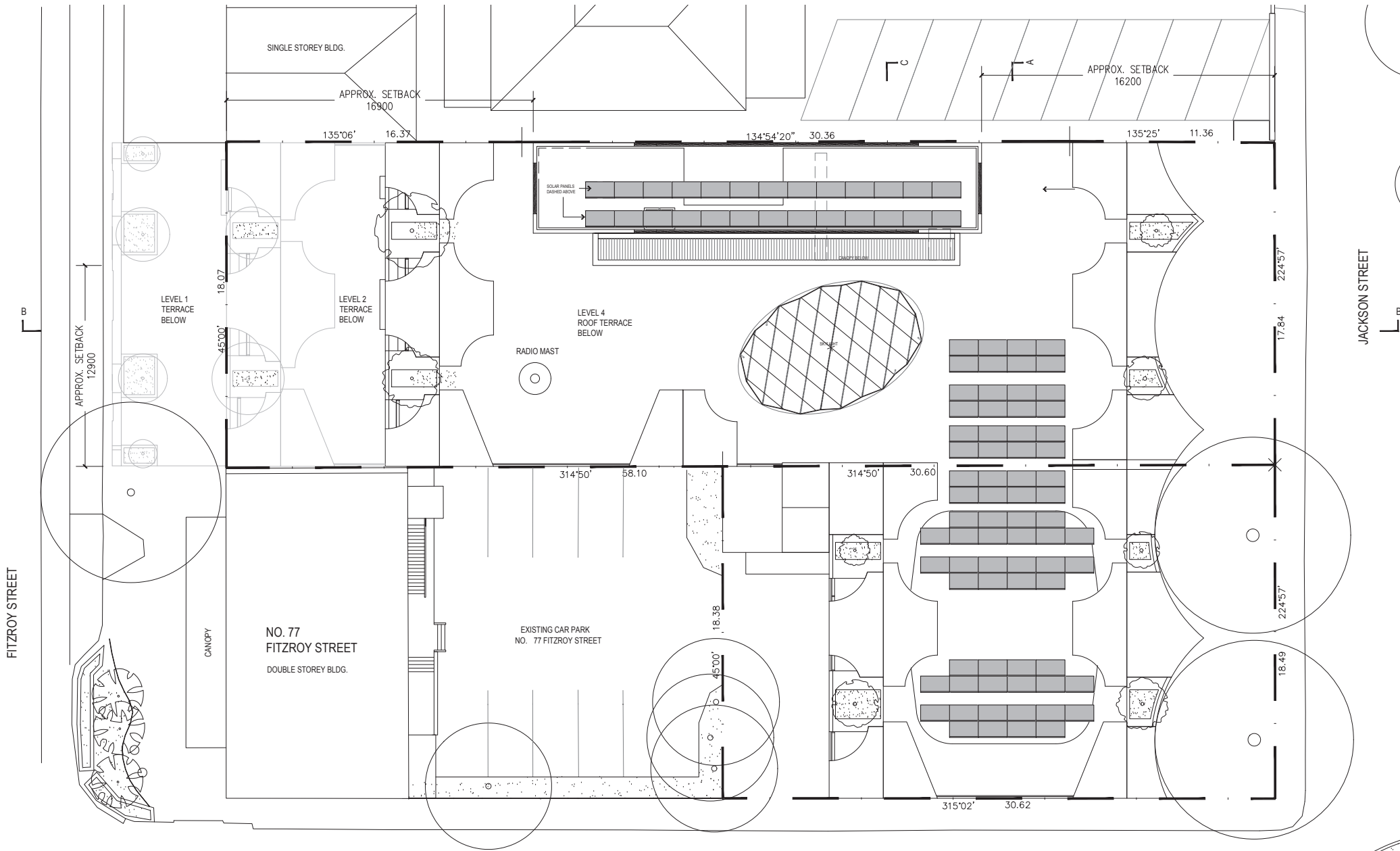
STATUS **DEVELOPMENT PLAN**
 PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **LEVEL 04 ROOF TERRACE PLAN**
 CURRENT REVISION **REV K1**
 DATE **02/08/18**

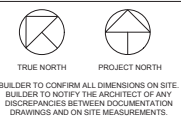
SHEET NO. **A104**



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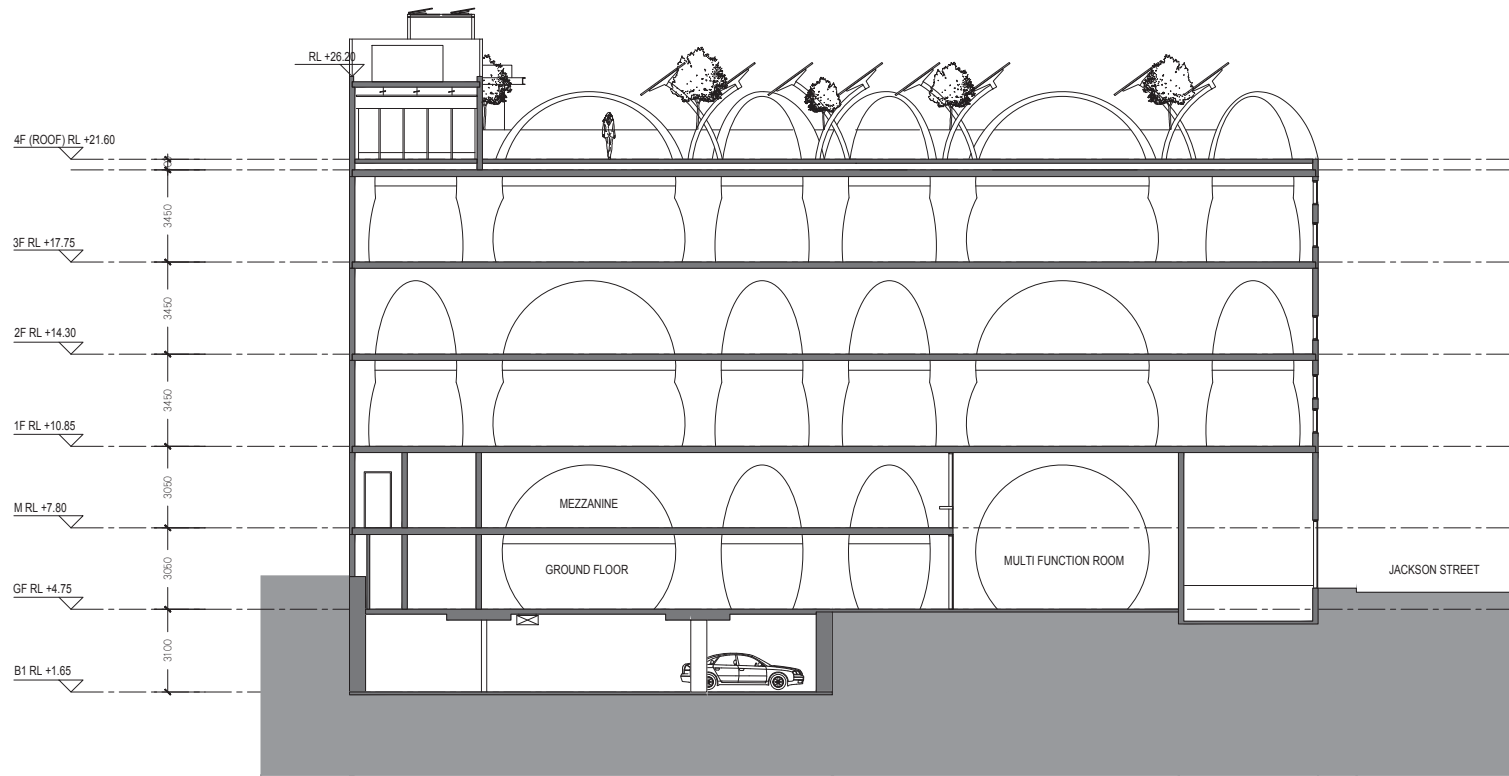
DEVELOPMENT PLAN

PROJECT: VICTORIAN PRIDE CENTRE
 ADDRESS: 79-81 FITZROY STREET ST. KILDA, VIC 3182
 CLIENT: VICTORIAN PRIDE CENTRE

PROJECT NO.: BAU003M
 DISCIPLINE: ARCHITECTURE
 DRAWN BY: BAU
 SCALE: 1:100 @ A1

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME: **ROOF PLAN**
 CURRENT REVISION: **REV K1**
 DATE: **02/08/18**
 SHEET NO.: **A105**



Note:
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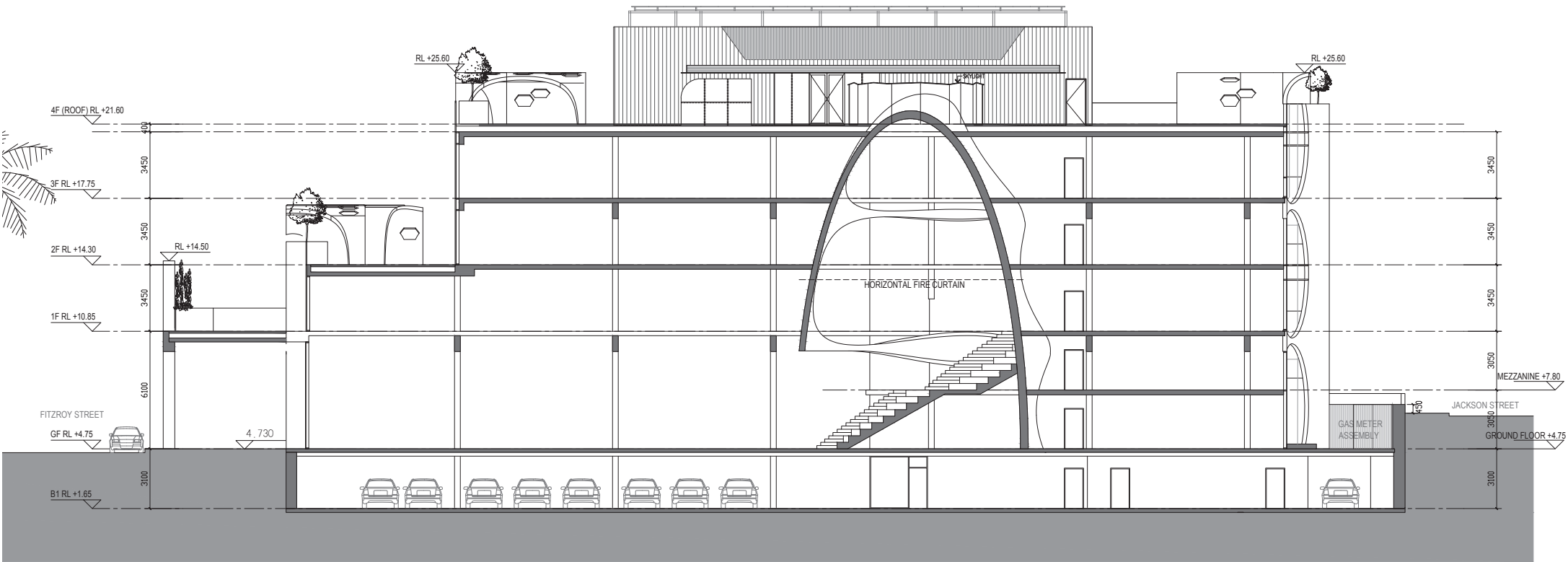
STATUS **DEVELOPMENT PLAN**

PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **SECTION AA**
 CURRENT REVISION **REV K1**
 DATE **02/08/18**
 SHEET NO. **A400**



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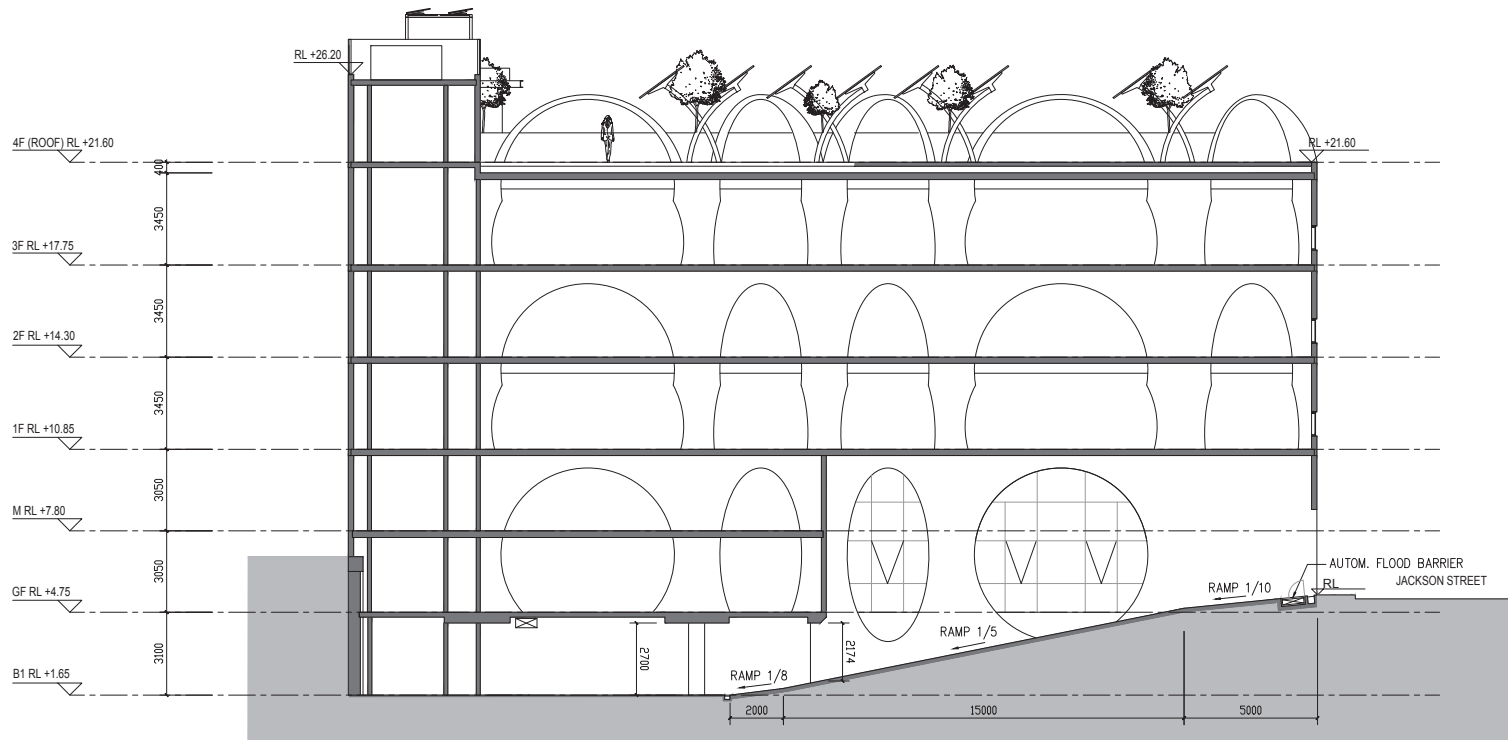
STATUS **DEVELOPMENT PLAN**
 PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

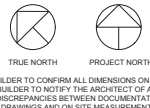
DRAWING NAME	CURRENT REVISION	DATE
SECTION BB	REV K1	02/08/18

SHEET NO. **A401**



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STATUS
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PROJECT
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 ADDRESS
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 CLIENT
VICTORIAN PRIDE CENTRE

PROJECT NO.
BAU003M
 DISCIPLINE
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 SCALE
1:100 @ A1

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME
SECTION CC
 CURRENT REVISION
REV K1
 DATE
02/08/18
 SHEET NO.
A402



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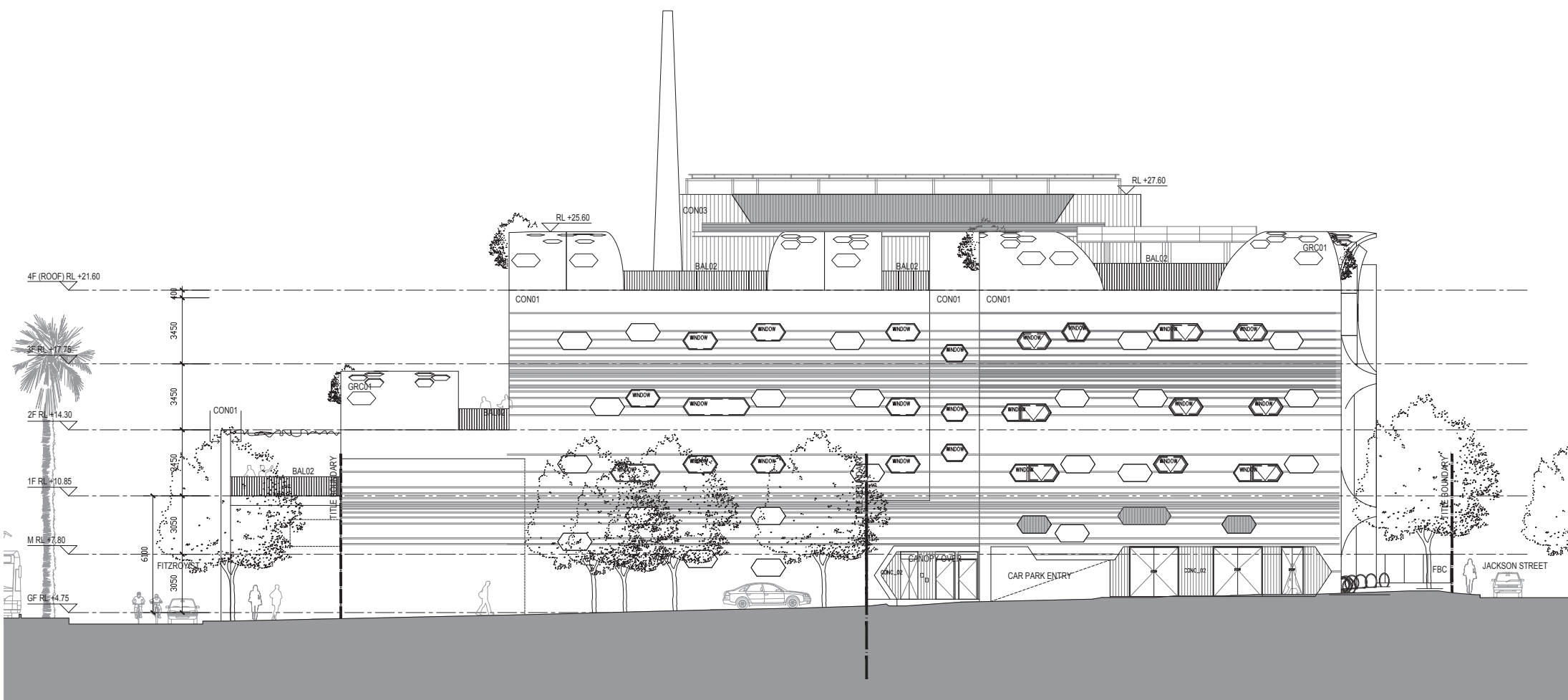
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STATUS **DEVELOPMENT PLAN**
 PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **NORTH-WEST ELEVATION (FITZROY ST)**
 CURRENT REVISION **REV K1**
 DATE **02/08/18**
 SHEET NO. **A500**



Note:
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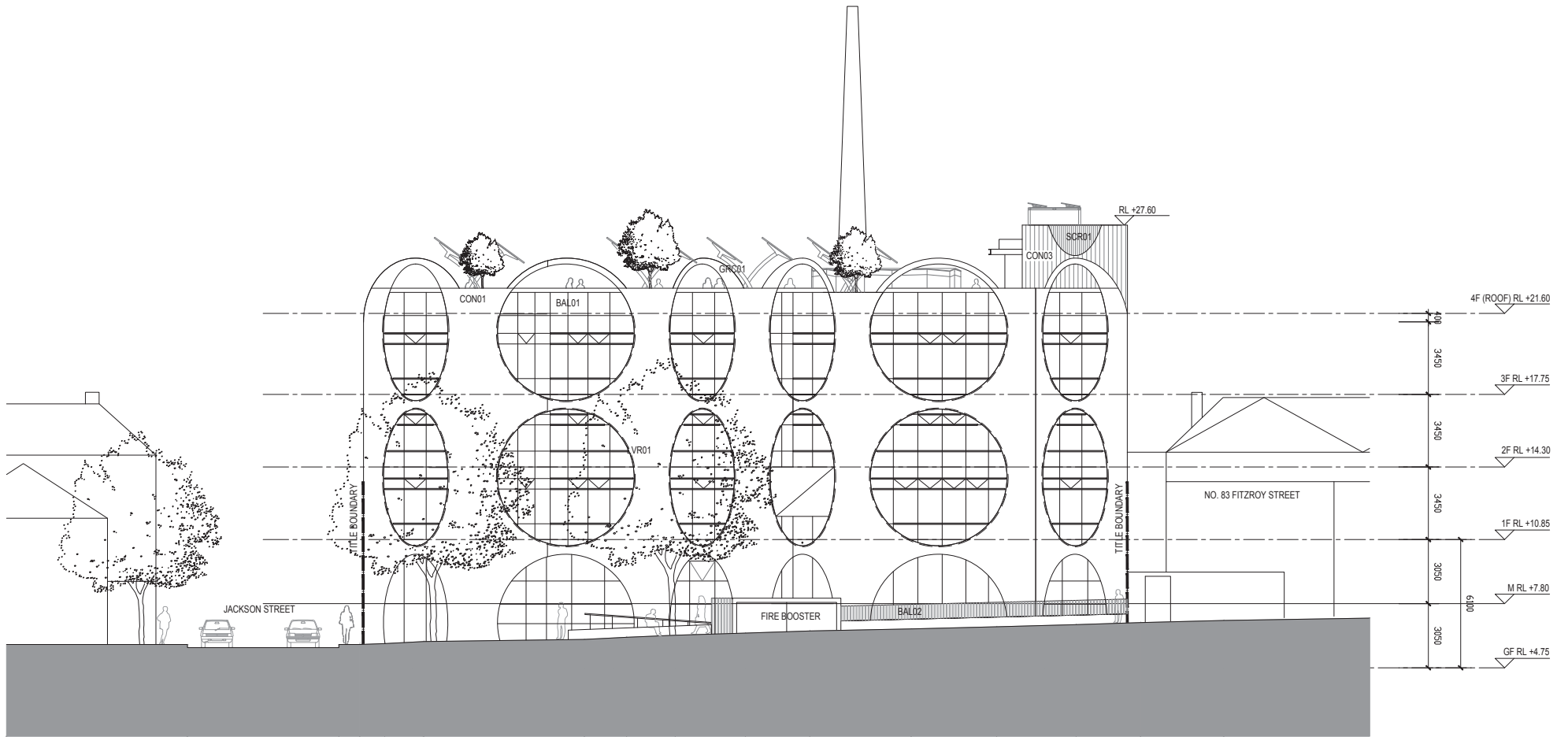
STATUS **DEVELOPMENT PLAN**

PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

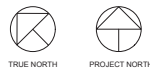
REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.08.18
REV G	REVISED INTERNAL LAYOUT	20.08.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **SOUTH-WEST ELEVATION (JACKSON ST)**
 CURRENT REVISION **REV K1**
 DATE **02/08/18**
 SHEET NO. **A501**



Note:
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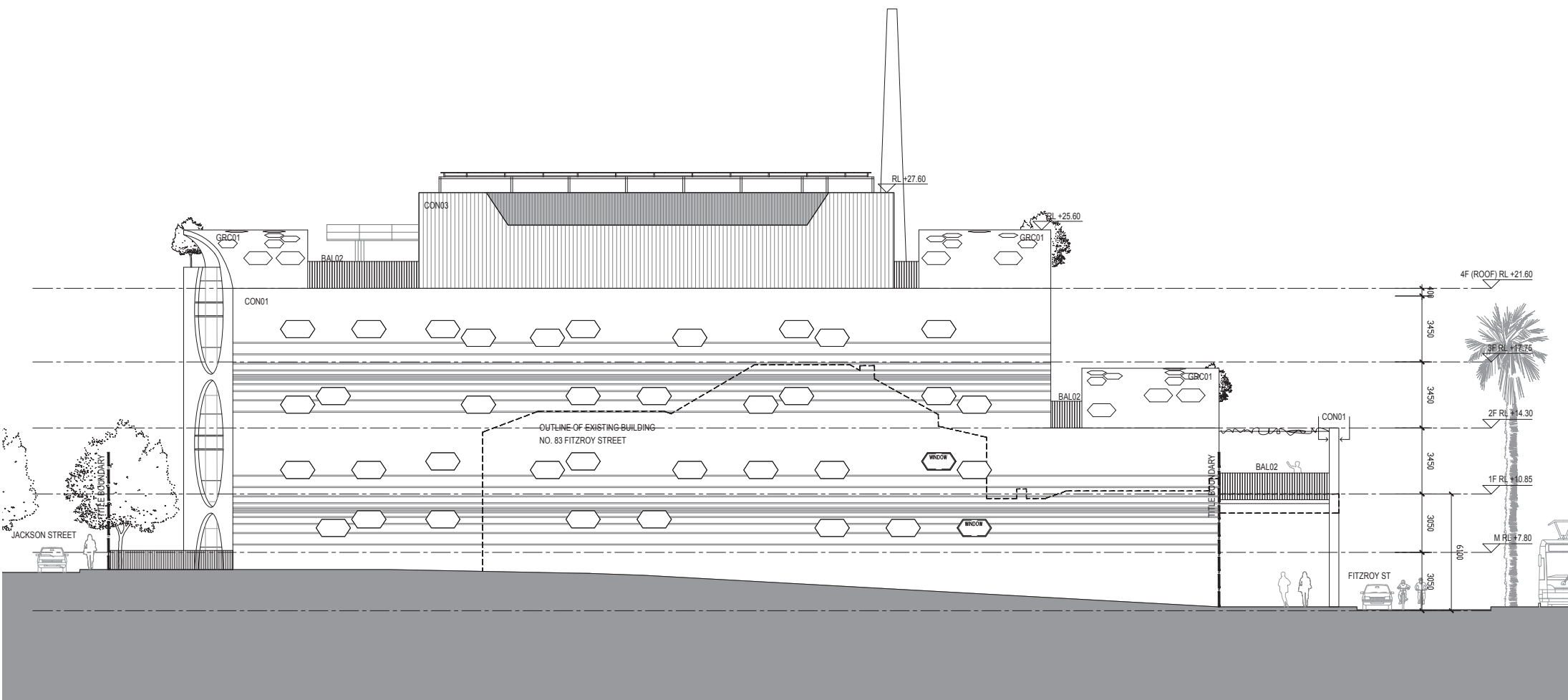
STATUS
DEVELOPMENT PLAN

PROJECT
VICTORIAN PRIDE CENTRE
 ADDRESS
79-81 FITZROY STREET ST. KILDA, VIC 3182
 CLIENT
VICTORIAN PRIDE CENTRE

PROJECT NO.
BAU003M
 DISCIPLINE
ARCHITECTURE
 DRAWN BY
BAU
 SCALE
1:100 @ A1

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME
SOUTH-EAST ELEVATION
 CURRENT REVISION
REV K1
 DATE
02/08/18
 SHEET NO.
A502



Note:
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STATUS **DEVELOPMENT PLAN**

PROJECT **VICTORIAN PRIDE CENTRE**
 ADDRESS **79-81 FITZROY STREET ST. KILDA, VIC 3182**
 CLIENT **VICTORIAN PRIDE CENTRE**

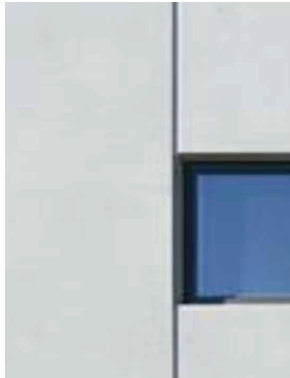
PROJECT NO. **BAU003M**
 DISCIPLINE **ARCHITECTURE**
 DRAWN BY **BAU**
 SCALE **1:100 @ A1**

REVISION	REASON FOR REVISION	DATE
REV F	INFORMATION	08.06.18
REV G	REVISED INTERNAL LAYOUT	20.06.18
REV H	REDUCED SETBACK	23.07.18
REV J	TOWN PLANNING AMENDMENT	31.07.18
REV K	TOWN PLANNING AMENDMENT	02.08.18
REV K1	REVISION FLAGPOLE	10.09.18

DRAWING NAME **NORTH-EAST ELEVATION**
 CURRENT REVISION **REV K1**
 DATE **02/08/18**
 SHEET NO. **A503**

INDICATIVE MATERIAL AND FINISHES SCHEDULE

CON01
Brightonlite precast concrete



CON02
Reckli precast concrete with colour stain



CON03
Profiled concrete with colour stain



SCR01
Vertical service screen louvre



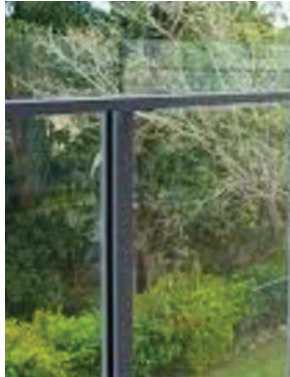
GLA01
Clear double glazing, low iron content



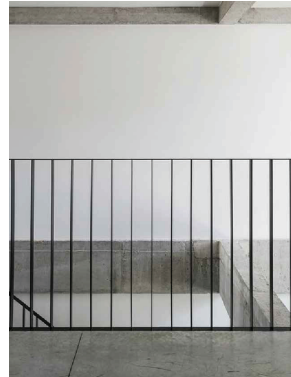
LVR01
Horizontal and vertical sun protection louvres, aluminium, anodised finish



BAL01
Balustrade glazing, clear



BAL02
Balustrade outdoor, black steel frame



GRC01
Rooftop vaults, glass reinforced concrete, to match precast facade finish

